

NOTICE OF OPEN MEETING
AGENDA
PLANNING AND ZONING COMMISSION
City of Moberly
City Council Chambers – Moberly City Hall
101 West Reed Street
August 28, 2023
6:00 PM

Date/ time posted

I. Roll Call

II. Approval of Agenda

III. Approval of Minutes

1. Approval of the July 31, 2023 Planning and Zoning meeting minutes

IV. Public Hearing Items

2. A Site Plan review application submitted by Crockett Engineering Consultants on behalf of KOSF II for improvements to the site located at 1245 Huntsville Rd. This property is currently zoned B-3 (General Commercial District).

3. A Site Plan review application submitted by Westhues Architecture LLC on behalf of GRC Real Estate for improvements to the site located at 1420 Becflo Dr. This property is currently zoned M-1 (Industrial District).

Tabled until September meeting per applicants request.

V. Other Business

VI. Adjournment

The public is invited to attend the Planning and Zoning and Work Session meetings. Representatives of the news media may obtain copies of this notice by contacting the City Clerk. If a special accommodation is needed as addressed by the Americans with Disabilities Act, please contact the City Clerk twenty-four (24) hours in advance of the meeting.

MINUTES OF PUBLIC HEARING
July 31, 2023
6:00 P.M.

The Planning and Zoning Commission for the City of Moberly met on Monday, July 31, 2023 at 6:00 p.m. in the Council Chambers of City Hall. The meeting was called to order by Chairperson, Sam Tadrus.

Members Present: **Connie Asbury**
 Rich Duley
 Sam Tadrus
 Austin Kyser
 Lorna Miles
 Tim Brubaker
 Gary Duncan
 Bob Riley
 David Byland
 Mike Skubic

Members Absent: **Don Burton**

City Staff Attending: **Tom Sanders, Community Development Director**
 Aaron Decker, Building Inspector
 Carla Beal, Administrative Assistant

Visitors: **Pam Dollich**
 Devin Snodgrass
 Mike Anderson
 Melissa Anderson
 Heather Cleavinger
 Kristina Wright
 Debbie Young

A roll call was taken, and ten (10) members of the Commission were present, with one (1) member absent.

Sam Tadrus asked if everyone had reviewed the July 31, 2023, agenda. Sam Tadrus asked that the agenda be revised to move the minutes to be approved before the election of officers. Austin Kyser made a motion to approve the agenda with Sam's revision, Gary Duncan seconded the motion. The agenda was approved.

Sam Tadrus asked if everyone had reviewed the April 24, 2023 minutes. There were no changes. Gary Duncan made a motion to approve the minutes. Connie Asbury seconded the motion. Minutes were approved.

Sam Tadrus turned the meeting over to Tom Sanders for the election of a chairperson.

Tom Sanders asked if there were any nominations for the chairperson. Bob Riley nominated San Tadrus as chairperson. Austin Kyser seconded the nomination. Tom asked if there were any other nominations. There being none, Tom asked for a vote, all voted yes, and Sam was appointed chairperson. Tom then turned the meeting back over to Sam Tadrus.

Sam asked if there were any nominations for co-chairperson. Connie Asbury nominated Austin Kyser and Tim Brubaker seconded the nomination. Sam asked if there were any other nominations. There being none, Sam asked for a vote, all voted yes, and Austin was appointed co-chairperson.

Sam asked if there were any nominations for secretary. Connie Asbury nominated Gary Duncan. Bob Riley seconded the nomination. Sam asked if there were any other nominations. There being none, Sam asked for a vote, all voted yes, and Gary was appointed secretary.

Sam Tadrus read the second item on the agenda; a zoning change submitted by Rob and Pam Dollich for 121 South Morley St. This property is currently zoned B-3 (General Commercial District).

Sam asked if there was anyone present to answer questions on this item. Pam Dollich came to the podium and explained that they were asking for a zoning change as they are residents on three (3) sides of the property. There was a brief discussion.

Sam asked if there was anyone in the audience with questions, there being none, Austin Kyser made a motion to approve the motion. David Byland seconded the motion. Sam asked for a vote and all voted no. The motion was denied.

Sam Tadrus read the third item on the agenda; a site plan review submitted by Devin Snodgrass on behalf of Gam Board Properties LLC for a drive-thru restaurant at 1130 S. Morley St. This property is currently zoned B-3 (General Commercial District). Devin Snodgrass came to the podium and explained Mike and Melissa Anderson are asking to build a drive-thru restaurant serving coffee and ice cream. Bob Riley stated he was concerned about traffic flow. Devin stated they had extra parking and drive-thru area at the pet care facility to the north. Austin stated if they can fit five (5) cars he did not see why it would not work. There was a brief discussion.

Sam asked if there was anyone in the audience with questions, there being none, Rich Duley made a motion to approve this motion. Tim Brubaker seconded the motion. Sam asked for a vote, all voted yes. The motion was approved.

Sam Tadrus read the fourth item on the agenda; a site plan review submitted by Board of Education for the demolition of the Alternative School (old East Park School) at 200 Porter St. This property is currently zoned R-2 (1-2 Family Residential District). Heather Cleavinger came to the podium and explained per the School Board By-Laws they must first come before the Planning and Zoning Commission for approval before they could proceed with a demolition. Tim Brubaker asked what they will do with the property. Heather stated they have had nobody inquire about the building or property. Sam Tadrus asked if there was asbestos in the building. Debbie Young spoke up and stated there was one (1) pipe in the crawl space that has asbestos on it. Gary Duncan asked if there had been any request to purchase the building. Sam Tadrus asked how long they would continue to

use the building. Kristina Wright stated they would use it through the end of December 2023. Melissa Anderson came to the podium and stated they would be interested in looking at the building and possibly purchasing it. There was a brief discussion.

Sam asked if there was anyone in the audience with questions, there being none, Rich Duley made a motion to approve this motion. Bob Riley seconded the motion. Sam asked for a vote, all voted yes. The motion was approved.

Sam Tadrus asked if there was any other business to discuss at this time, there being none, Gary Duncan made a motion to adjourn. Lorna Miles seconded the motion. The meeting was adjourned.

DRAFT

CITY OF MOBERLY, MISSOURI
SITE PLAN REVIEW

Return Form To:
Zoning Administrator
City of Moberly
101 West Reed Street
Moberly, MO 65270-1551
(660) 263-4420
(660) 263-9398 (fax)

For Office Use Only
Filing Fee: _____
Deposit: _____
Dated Filed: _____

APPLICANT INFORMATION:

Applicant: Crockett Engineering Phone: 573-447-0292
Address: 1000 W Nifong Blvd., Columbia, MO Zip: 65203
Owner: KOSF II - Moberly, LLC Phone: 763-760-8913
Address: 1209 Orange St., Wilmington, DE Zip: 19801

PROPERTY INFORMATION:

Address of Property: 1245 Huntsville Road, Moberly, MO 65270
Legal Description: Part of Lot 2, Riley Industrial Park Second Addition Per Book B, Vol 6, Page 44

Present Zoning Classification: B-3 Acreage: 3.40

Present Use of Property: Storage Facility

Proposed Use of Property: Storage Facility

ADJACENT ZONING AND LAND USE:

	<u>Land Use</u>	<u>Zoning</u>
North	<u>Industrial</u>	<u>B-3</u>
South	<u>Commercial and Residential</u>	<u>M-1, R-2, across Huntsville Rd.</u>
East	<u>Commercial/Industrial</u>	<u>B-3</u>
West	<u>Residential</u>	<u>R-2</u>

Does the proposed site plan meet the following criteria? If yes, attach a separate sheet explaining why (To be completed by the applicant).	Yes	No
1. Does the proposal conform with the provisions of the City's Zoning regulations?	X	
2. Will the development be compatible with the surrounding area?	X	
3. Does the proposal conform with the provisions of the City's Subdivision Regulations?	X	
4. Does the proposal conform to the goals, objectives and policies of the Comprehensive Plan?	X	
5. Does the proposal conform with the customary engineering standards used in the City?	X	
6. Are the streets, paths, walkways, and driveways located such that they enhance safety and minimize any adverse traffic impact on the surrounding area?	X	
7. Have the proposed buildings, structures, walkways, roads, driveways, open space (if any), and parking lots been located to preserve existing off-site views and create desirable on-site views, conserve natural resources and amenities including prime agricultural land, minimize any adverse flood impact, ensure that proposed structures are located on suitable soils, minimize any adverse environmental impact, and minimize any present or future cost to the City and private providers of utilities in order to adequately provide public utility services to the site.	X	

ATTACHMENTS REQUIRED:

- A. Site Plan Review Checklist
- B. 10 copies of site plan



 Applicant's Signature

7/17/2023

 Date

CITY OF MOBERLY, MISSOURI
SITE PLAN CHECKLIST

Return Form To:
Zoning Administrator
City of Moberly
101 West Reed Street
Moberly, MO 65270-1551
(660) 263-4420
(660) 263-9398 (fax)

For Office Use Only:
Date Filed: _____
Date of Meeting: _____
Filing Fee: _____
Deposit: _____

-
1. Name of Project: KO Storage Expansion
 2. Location of Project: 1245 Huntsville Road, Moberly, MO 65270
 3. Name of Owner: KOSF II - Moberly, LLC
 4. Name of Person who Prepared the Site Plan: Jacob Eiler - Crockett Engineering Consultants, LLC
 5. Instructions:

The following checklist is to be completed by the Zoning Administrator. The Site Plan shall include the following data, details and supporting information, which are found to be relevant to the proposal. All site plans shall be prepared by an architect or landscape architect registered in the State of Missouri, or by a professional engineer licensed in the State of Missouri. The number of pages submitted will depend on the proposal's size and complexity.

A. Site Plan Content Requirements: Does the Site Plan comply with or show the following?

	<u>Yes</u>	<u>No</u>
1. Name and address of the owner of record, developer, and seal of the engineer, architect or landscape architect.	<u>X</u>	_____
2. Name and address of all owners of record of abutting parcels.	<u>X</u>	_____
3. All existing lot lines, easements, and rights-of-way. Include area in acres or square feet, abutting land uses and structures.	<u>X</u>	_____
4. The location and use of all existing and proposed buildings and structures within the development, including all dimensions of height and floor area, show all exterior entrances and all anticipated future additions and alterations, and typical elevations and building materials.	<u>X</u>	_____

	<u>Yes</u>	<u>No</u>
5. The location of all present and proposed public and private ways, driveways, sidewalks, ramps, curbs and fences. Location type and screening details for all waste disposal containers shall also be shown.	<u>X</u>	_____
6. The location of required parking areas including parking stalls, setbacks and loading and service areas.	<u>X</u>	_____
7. The location, height, intensity, and bulb type (e.g., fluorescent, sodium incandescent) of all external lighting fixtures. The direction of illumination and methods to eliminate glare onto adjoining properties.	_____	_____
8. The location, height, size, materials, and design of all proposed signage.	_____	_____
9. A landscape plan showing all existing open space, trees forest cover and water sources, and all proposed changes to these features including the size and type of plant material. Water sources will include ponds, lakes, brooks, streams, wetlands, flood plains, and drainage retention areas.	<u>X</u>	_____
10. The location of all existing and proposed utility systems including:		
a. Sewer lines and manholes;	<u>X</u>	_____
b. Water lines and fire hydrants;	<u>X</u>	_____
c. Telephone, cable and electrical systems; and	<u>X</u>	_____
d. Storm drainage system including existing and proposed drain lines, culverts, catch basins, head walls, end walls, hydrants, manholes, and drainage swells.	<u>X</u>	_____
11. Plans to prevent the pollution of surface or groundwater, the erosion of soil both during and after construction, excessive run-off, excessive raising or lowering of the water table, and flooding of other properties, as applicable.	<u>X</u>	_____
12. Existing and proposed topography shown at not more than two-foot contour intervals. All elevation shall refer to United States Geodetic Survey (U.S.G.S.) datum. No building shall be located in the 100-year flood plain.	<u>X</u>	_____

	<u>Yes</u>	<u>No</u>
13. Existing and proposed zoning district boundaries adjacent to the site's perimeter shall be drawn and identified on the plan.	<u>X</u>	_____
14. Traffic flow patterns within the site, entrances and exits, loading and unloading areas, curb cuts on the site and within 100 feet of the site.	<u>X</u>	_____
15. A detailed traffic study for mixed use and multi-tenant developments, or for developments in heavy traffic areas, if required by the Zoning Administrator, to include:		
a. The projected number of motor vehicle trips to enter or exit the site, estimated for daily and peak hour traffic level.	_____	_____
b. The projected traffic flow pattern including vehicular movements at all major intersections likely to be affected by the proposed use of the site; and	_____	_____
c. The impact of this traffic upon existing abutting public and private ways in relation to existing road capacities. Existing and proposed daily and peak hour traffic levels, as well as road capacity levels, shall also be given.	_____	_____
B. Design Standards:		
1. Does the building rooftop have at least two of the following features: Parapets concealing flat roofs and roof top equipment; overhanging eaves; sloped roofs; and three or more roof slope planes?	_____	_____
2. Are roof mounted equipment, including ventilators and satellite dishes, screened from view (100 percent opacity) or isolated so as to not be visible from ground level of any adjacent public thorough-fare or residentially-zoned area, up to a maximum of 300 feet away and is the appearance of the roof screens coordinated with the building to maintain a unified appearance?	_____	_____
3. Are all electrical and mechanical equipment located adjacent to the building and visible from any adjacent public thoroughfare or residentially-zoned area screened from view (100 percent opacity), up to a maximum of 300 feet away and are such screens and enclosures treated as integral elements of the buildings appearance?	_____	_____

	<u>Yes</u>	<u>No</u>
4. Except for meters, electric and telephone service pedestals, transformers, three-phase feeder lines, subtransmission and transmission lines (34.5kv and above), electrical substations and such other facilities as the utility may deem necessary to install utilizing "overhead" type construction, are all telephone and cable television lines, electrical services and distribution lines placed underground?	<u>X</u>	_____
5. Are all gas meters in any front yards, located within three feet of the building foundation?	_____	_____
6. Is the form and proportion of buildings consistent or compatible with the scale, form and proportion of existing development in the immediate area?	<u>X</u>	_____
7. Pedestrian access shall be an integral part of the overall design of each multifamily, commercial, and industrial development.		
a. Does the pedestrian access provide safe and convenient access to and from off-street parking areas?	_____	<u>X</u>
b. Does the pedestrian access connect with abutting properties and developments so as to create an alternative means of transportation for residents of the city?	_____	<u>X</u>
c. Are sidewalks at least 5 feet in width provided along all sides of a lot abutting a dedicated public or private street?	_____	<u>X</u>
d. Is there a continuous internal pedestrian sidewalk provided from the perimeter public sidewalk to the principal customer entrance(s)?	_____	<u>X</u>
e. Does the internal sidewalk feature landscaping, benches, and other such materials and facilities for no less than 50 percent of its length?	_____	<u>X</u>
f. Are sidewalks provided along the full length of the building along any facade featuring a customer entrance and along any facade abutting a public parking areas?	_____	<u>X</u>

	<u>Yes</u>	<u>No</u>
g. Are sidewalks located at least five feet away from the building facade to provide planting areas for landscaping along the foundation of the building?	_____	_____X_____
h. Are internal pedestrian sidewalks distinguished from driving surfaces through the use of special pavers, bricks, or scored concrete to enhance pedestrian safety and the attractiveness of the sidewalks?	_____	_____X_____
8. Architectural design should create visual interest through the use of different textures, complementary colors, shadow lines and contrasting shapes.		
a. Will the buildings have a variation of detail, form, and siting to provide visual interest?	_____	_____
b. Are loading docks, trash enclosures, outdoor storage and similar facilities and functions incorporated into the over-all design of the building and the landscaping so that the visual and acoustic impacts of these functions are reduced to as great an extent as possible and are out of view from adjacent properties and public streets?	_____	_____
c. Do building facades 100 feet or greater in length incorporate recesses and projections along at least 20 percent of the length of the building facade?	_____	_____
d. Do windows, awnings, and arcades total at least 60 percent of the facade length abutting any public street?	_____	_____
e. Does any building facade 100 feet or greater in length abutting a residential district, have an earth berm of at least six feet in height installed between the building facade and the abutting residential district and is the earth berm landscaped with evergreen trees at intervals of at least 20 feet on center, or in clusters?	_____	_____
9. Minimum Exterior Building Material Standards: Does a minimum of 50% of each exterior wall consist of one or more of the following materials?:		
a. Masonry: Masonry construction, which includes solid cavity faced or veneered-wall construction, or similar materials.	_____	_____
b. Glass Walls: Glass walls shall include glass curtain walls or glass block construction.	_____	_____

	<u>Yes</u>	<u>No</u>
c. Wood other than exposed plywood paneling.	_____	_____
d. Concrete finish or pre-cast concrete panel (tilt wall) that has exposed aggregate, hammered, sandblasted or covered with a cement-based acrylic coating.	_____	_____
e. Metal panels with a depth of one inch or more; or a thickness of U.S. Standard 26 gauge or more.	_____	_____

City of *Moberly!*

Memorandum

To: Planning and Zoning Commission

From: Planning Staff

Subject: Site Plan Review Application 1245 Huntsville Rd

Meeting: August 28 2023

Public Hearing to consider:

Notice of a Public Hearing for a site plan review application submitted by Crockett Engineering Consultants on behalf of KOSF II for improvements to the site located at 1245 Huntsville Rd.. This property is currently zoned B-3 (General Commercial District).

Comments:

Location: 1245 Huntsville Rd – Currently Self Storage

Zoning Compatibility: Use is compatible with the district.

Intended Use: Self Storage, Expansion to include new buildings

Landscaping design: No changes to landscaping of existing site except addition of detention basins for stormwater management.

Public areas: (46-177) Parking – Improvements include paving of driving areas between buildings and also has been planned to allow fire truck access within the site.

Submission requirements: Site Plan Review associated with Improvements all submitted in timely fashion.

City Staff Review:

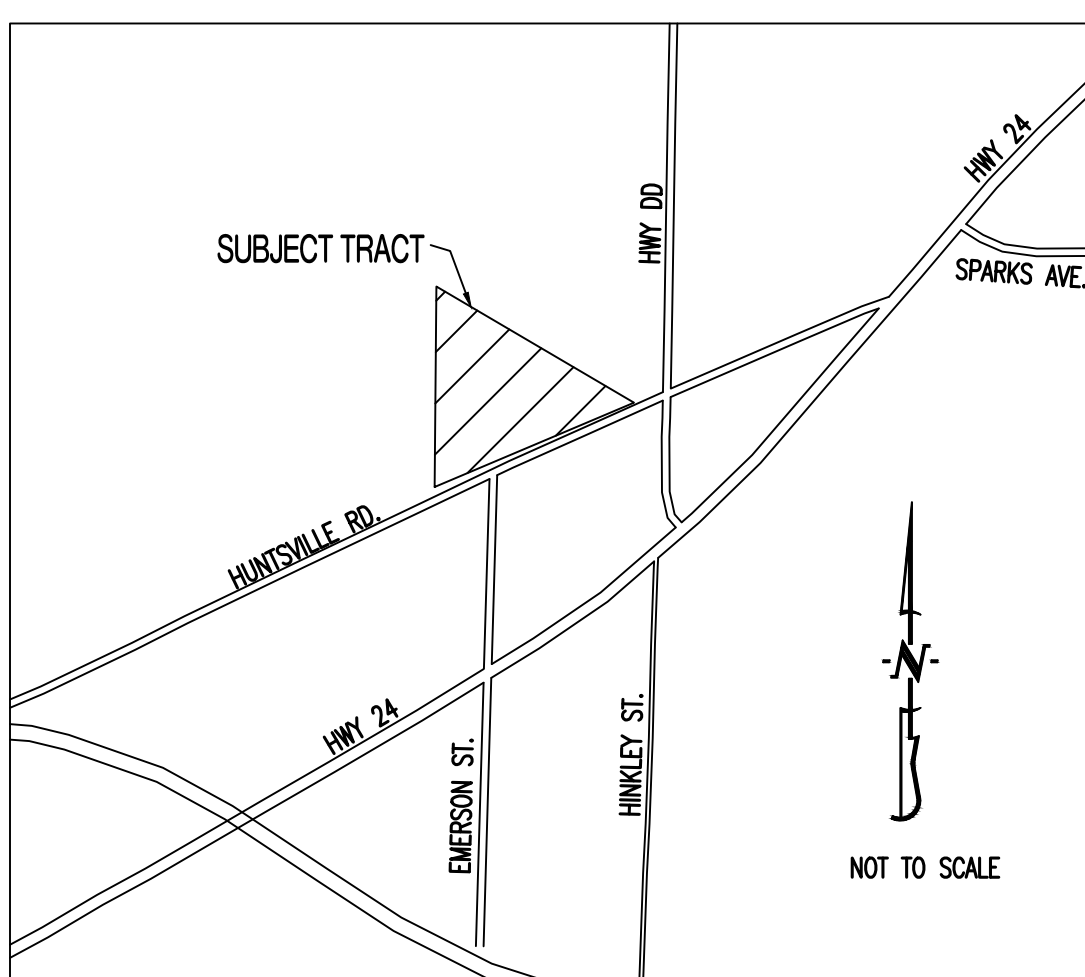
The site plan review was reviewed by staff and Fire Department was okay with truck access between the buildings, Storm water was okay with the proposed basins, and Community Development is in agreement with the additional buildings and extra site improvements. The City Staff recommends acceptance of the site plan review as proposed.

Site Plan Reviews do not require additional approval by the City Council.

Respectfully Submitted
Aaron Decker

KO STORAGE EXPANSION

LOCATION MAP



GENERAL NOTES:

ALL STREET, STORM DRAIN, AND SANITARY SEWER CONSTRUCTION TO BE IN ACCORDANCE WITH "CITY OF MOBERLY STREET AND STORM SEWER SPECIFICATIONS AND STANDARDS" (CURRENT EDITION).

CONTRACTOR WILL BE RESPONSIBLE FOR PLACEMENT AND MAINTENANCE OF TRAFFIC CONTROL DEVICES NECESSARY TO COMPLETE THEIR PORTION OF WORK. THE DEVICES AND METHODS EMPLOYED WILL COMPLY WITH THE CURRENT VERSION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.

THIS PLAT CONTAINS APPROXIMATELY 3.40 ACRES.

THIS TRACT IS ZONED B-3.

THE STORM SEWER NETWORK DESIGN FOR THIS PROJECT IS BASED ON OPEN CHANNEL FLOW; THEREFORE THE HYDRAULIC GRADE LINE IS AT OR LESS THAN THE CROWN OF THE PIPE.

EXISTING UTILITIES SHOWN FOR REFERENCE ONLY. CONTRACTOR SHALL COORDINATE LOCATES (HORIZONTAL AND VERTICAL) PRIOR TO ANY EXCAVATION. CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL PUBLIC AND PRIVATE UTILITIES. REPAIR TO ANY DAMAGED EXISTING PUBLIC OR PRIVATE UTILITIES WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.

ALL EXCAVATION TO BE IN ACCORDANCE WITH SECTIONS 319.010-319.050, REVISED STATUTES OF THE STATE OF MISSOURI. SUCH COMPLIANCE SHALL NOT, HOWEVER, EXCUSE ANY PERSON MAKING ANY EXCAVATION FROM DOING SO IN A CAREFUL AND PRUDENT MANNER, NOR SHALL IT EXCUSE SUCH PERSON FROM LIABILITY FOR ANY DAMAGE OR INJURY TO UNDERGROUND UTILITIES RESULTING FROM THE EXCAVATION.

A GEOTECHNICAL EVALUATION OF THE SUBSURFACE SOIL, GROUNDWATER CONDITIONS, AND A SLOPE STABILITY ANALYSIS HAS NOT BEEN PERFORMED BY THIS ENGINEER. THE OWNER SHALL SATISFY THEMSELVES OF ALL GEOTECHNICAL CONDITIONS PRIOR TO ANY CONSTRUCTION.

ANY FILL PLACEMENT WITHIN STREET RIGHT-OF-WAY SHALL BE INSPECTED BY THE CITY OF MOBERLY.

ALL SLOPES ARE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.

IT IS THE INTENT OF THESE PLANS TO COMPLY WITH THE REQUIREMENTS OF THE MOBNR CLEAN WATER COMMISSION.

ALL DISTURBED AREAS WITHIN THE "LIMITS OF DISTURBANCE" SHALL BE FINE GRADED, SEEDED, AND MULCHED.

THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL EROSION CONTROL DEVICES AND REMOVING THEM ONCE THE SITE IS STABILIZED.

ALL EXCAVATION WITHIN THE STREET RIGHT-OF-WAY SHALL BE BACKFILLED PER CURRENT CITY OF MOBERLY SPECIFICATIONS.

ALL HDPE PIPE SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. REFER TO DETAIL FOR PIPE BEDDING REQUIREMENTS.

TOTAL DISTURBED AREA ON SITE = 3.48 AC.

IN ORDER TO TERMINATE A STATE OPERATING PERMIT THE MISSOURI DEPARTMENT OF NATURAL RESOURCES (MDNR) REQUIRES THAT THE PERMITTEE SUBMIT A COMPLETED FORM H (INCLUDED WITH THE APPROVAL PERMIT) TO THE MDNR. A PERMIT IS ELIGIBLE FOR TERMINATION WHEN EITHER PERENNIAL VEGETATION, PAVEMENT, BUILDINGS, OR STRUCTURES USING PERMANENT MATERIALS COVER ALL AREAS THAT HAVE BEEN DISTURBED. VEGETATIVE COVER SHALL BE AT LEAST 70% OF FULLY ESTABLISHED PLANT DENSITY OVER 100% OF THE DISTURBED AREA. FORM H SHOULD BE SUBMITTED TO DNR ONCE COVER IS ESTABLISHED.

LAND DISTURBANCE SITES SHOULD BE INSPECTED ON A REGULAR SCHEDULE AND WITHIN A REASONABLE TIME PERIOD (NOT TO EXCEED 48 HOURS) FOLLOWING HEAVY RAINS. REGULARLY SCHEDULED INSPECTIONS SHALL BE AT A MINIMUM OF ONCE PER WEEK. ANY DEFICIENCIES SHALL BE NOTED IN A WEEKLY REPORT OF THE INSPECTION AND CORRECTED WITHIN 48 HOURS OF THE REPORT.

CONTRACTORS ARE REQUIRED TO RETAIN COPIES OF THEIR SWPPP INSPECTION REPORTS THROUGHOUT THE PROJECT.

MISSOURI DNR LAND DISTURBANCE PERMIT NUMBER IS TO BE OBTAINED. CONTRACTOR IS TO HAVE A MDNR LAND DISTURBANCE PERMIT ALONG WITH CITY OF MOBERLY LAND DISTURBANCE PERMIT OBTAINED PRIOR TO ANY LAND DISTURBANCE.

MISSOURI DNR LAND DISTURBANCE PERMIT NUMBER TO BE DETERMINED.

SHEET INDEX:

SHEET NUMBER	SHEET TITLE	ORIGINAL 6/22/2023		
CE 0	COVER SHEET	X		
CE 1	DEMOLITION PLAN	X		
CE 2	EROSION CONTROL PLAN	X		
CE 3	GRADING PLAN SHEET 1 OF 2	X		
CE 4	GRADING PLAN SHEET 2 OF 2	X		
CE 5	UTILITY PLAN	X		
CE 6	STORM SEWER PROFILES	X		
CE 7	SITE PLAN	X		
CE 8	SITE CONSTRUCTION DETAILS	X		
CE 9	STORM SEWER DETAILS	X		

PROJECT BENCHMARK:

TBM #1 - BENCHMARK ON POWER POLE LOCATED APPROXIMATELY 50' NORTHEAST OF EXISTING SITE ENTRANCE
ELEVATION = 855.72

FLOOD PLAIN STATEMENT:

THIS TRACT IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA SUBJECT TO SEC 29-2.3(0)(4)(i) OF THE CODE OF ORDINANCES AND AS SHOWN ON THE FEMA F.I.R.M. PANEL #29175C0162C, DATED APRIL 30, 2020.

LEGAL DESCRIPTION:

LOT 2 OF RILEY INDUSTRIAL PARK 2ND ADD. SEC.35-T54N-R14W

UTILITY COMPANIES:

LOCATES:

MISSOURI ONE CALL INC.
1022 B NORTHEAST DRIVE
JEFFERSON CITY, MO 65109
1-800-344-7483



WATER/SANITARY SEWER:

CITY OF MOBERLY
101 W. REED ST.
MOBERLY, MO 65270
660-269-8705

TELECOM:

AT&T
1315 E 24TH HWY #6
MOBERLY, MO 65270
800-778-9140

TELECOM:

CHARTER COMMUNICATIONS
1510 CHARTER BOONE
INDUSTRIAL BOULEVARD
COLUMBIA, MO 65202
573-875-8875 OR 573-248-4030

NATURAL GAS/ELECTRIC:

AMEREN MISSOURI
2001 MAGUIRE BLVD.
COLUMBIA, MO 65201
573-876-3030 OR 800-552-7583

TELECOM:

SOCKET
2703 CLARK LANE
COLUMBIA, MO 65202
573-817-0000

LEGEND OF SYMBOLS:

=====	EXISTING CURB	FF=XXXX	FINISHED FLOOR OF STRUCTURE
-----	PROPOSED CURB	XXXX.XX TC	PROPOSED TOP OF CURB ELEVATION
XXXXXX	RIP RAP	XXXX.XX TP	PROPOSED TOP OF PAVEMENT ELEVATION
XXXXXX	EXISTING STRUCTURE	XXXX.XX FG	PROPOSED FINISHED GRADE ELEVATION
~~~~~	EXISTING TREELINE	XXXX.XX TW	PROPOSED TOP OF WALL
~~~~~	PROPOSED TREELINE	XX	LOT NUMBER
—○—○—	EDGE OF WATERWAY	X	STORM SEWER STRUCTURE LABEL
—W—W—	EXISTING WATERLINE	X	SANITARY SEWER STRUCTURE LABEL
—W—W—	PROPOSED WATERLINE	H.P.	HIGH POINT
—G—G—	EXISTING GAS LINE	L.P.	LOW POINT
—G—G—	PROPOSED GAS LINE	—	EXISTING SIGNS
—UT—UT—	EXISTING UNDERGROUND TELEPHONE	⊘	EXISTING POWER POLE
—UTV—UTV—	EXISTING UNDERGROUND CABLE TELEVISION	⊗	EXISTING GAS VALVE
—HVE—HVE—	EXISTING HIGH VOLTAGE ELECTRIC	⊗	EXISTING WATER VALVE
—OE—	EXISTING OVERHEAD ELECTRIC	⊗	EXISTING GAS METER
—UE—	EXISTING UNDERGROUND ELECTRIC	⊗	EXISTING WATER METER
—OETV—	EXISTING OVERHEAD ELEC. & TV	⊗	EXISTING FIRE HYDRANT
—OETV—	EXISTING OVERHEAD ELEC., TV & TELE.	⊗	MANHOLE
—S—S—	EXISTING SANITARY SEWER	—	EXISTING SANITARY SEWER LATERAL
—S—S—	PROPOSED SANITARY SEWER	—	PROPOSED SANITARY SEWER LATERAL
.....	EXISTING MINOR CONTOUR	⊗	PROPOSED TRACER WIRE TEST STATION BOX
---XXX---	EXISTING MAJOR CONTOUR	[AC]	EXISTING AIR CONDITIONER
---XXX---	PROPOSED MINOR CONTOUR	⊗	EXISTING TELEPHONE PEDESTAL
---XXX---	PROPOSED MAJOR CONTOUR	⊗	EXISTING ELECTRICAL TRANSFORMER
TTTTTTTT	100 YEAR FLOOD PLAN	⊗	EXISTING ELECTRIC METER
TTTTTTTT	FLOODWAY	⊗	EXISTING LIGHT POLE
— · · —	ORDINARY HIGH WATER MARK	→	EXISTING GUY WIRE
— · · —	STREAM SIDE BUFFER		
-----	OUTER STREAM BUFFER		

REVISIONS:

NO.	DATE
ORIGINAL	06/22/2023

THIS SHEET HAS BEEN SIGNED, SEALED AND DATED ELECTRONICALLY

PRELIMINARY
(NOT FOR CONSTRUCTION)

TIMOTHY D. CROCKETT
MO LICENSE: 200400075

PREPARED BY:
CROCKETT
ENGINEERING & PLANNING
1008 W. HUNTSVILLE RD.
COLUMBIA, MISSOURI 65203
(372) 487-0299
www.crockettengineering.com
Crockett Engineering Consultants, LLC
Missouri Certificate of Authority
#000001001

OWNER:

KOSF - MOBERLY, LLC
1246 HUNTSVILLE RD
MOBERLY, MO 65270

KO STORAGE EXPANSION
MOBERLY, RANDOLPH COUNTY, MISSOURI

DRAWING INCLUDES:

COVER SHEET

DESIGNED: TDC

DRAWN: JEE

PROJECT NO: 230063

SHEET:
CE 0

REVISIONS:

NO.	DATE
ORIGINAL	06/27/2023

THIS SHEET HAS BEEN SIGNED, SEALED AND DATED ELECTRONICALLY

PRELIMINARY
(NOT FOR CONSTRUCTION)

TIMOTHY D. CROCKETT
MO LICENSE: 200400075

PREPARED BY:
CROCKETT
 ENGINEERING & CONSULTANTS
 1000 W. HUNTSVILLE BLVD.
 COLEBURN, MISSOURI 65203
 (314) 487-0299
 www.crockettingeering.com
 Crockett Engineering Consultants, LLC
 Missouri Certificate of Authority
 #000000001

OWNER:
 KOSF - MOBERLY, LLC
 1246 HUNTSVILLE RD
 MOBERLY, MO 65270

KO STORAGE EXPANSION

MOBERLY, RANDOLPH COUNTY, MISSOURI

DRAWING INCLUDES:

DEMOLITION PLAN

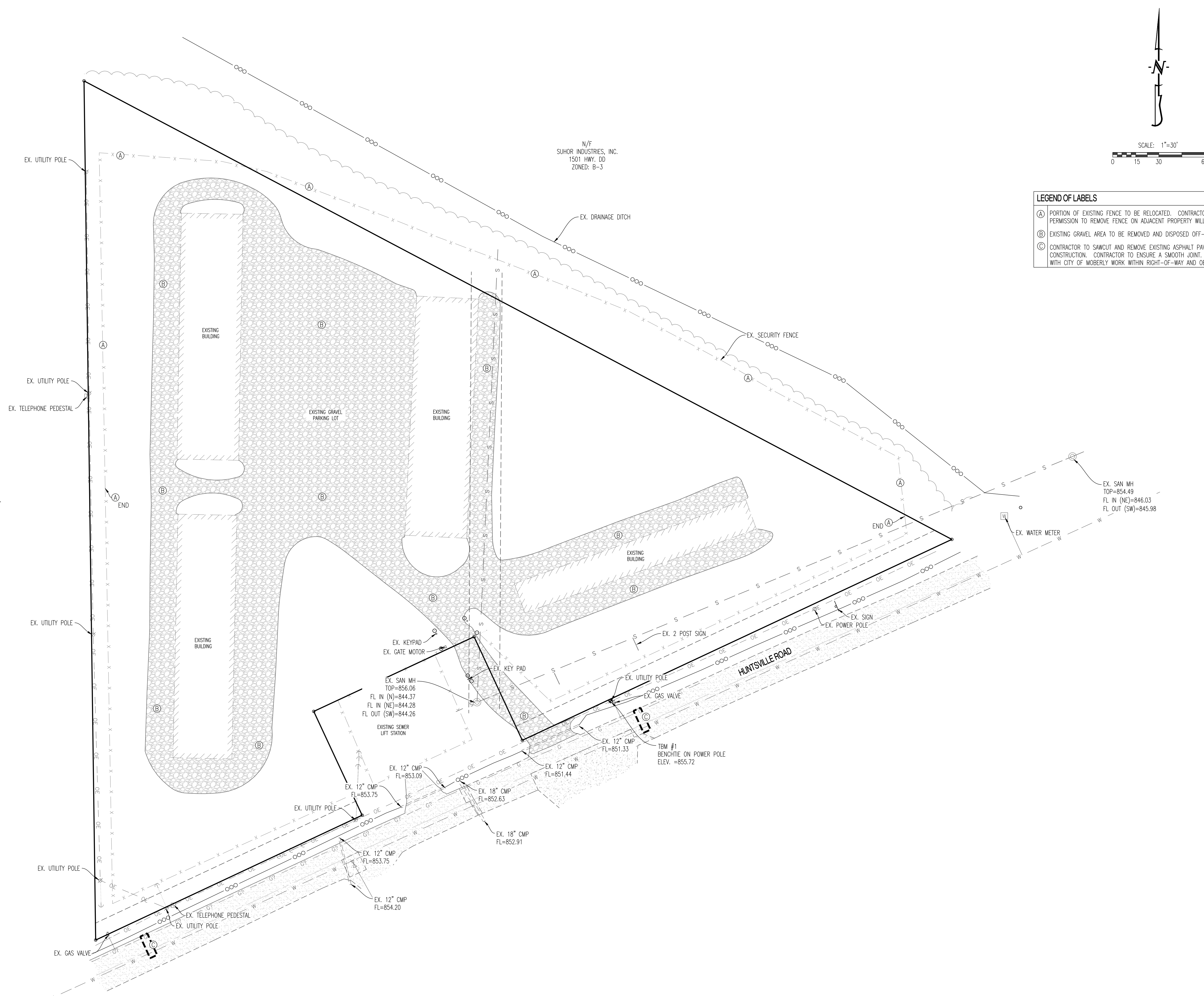
DESIGNED: TDC

DRAWN: JEE

PROJECT NO: 230063

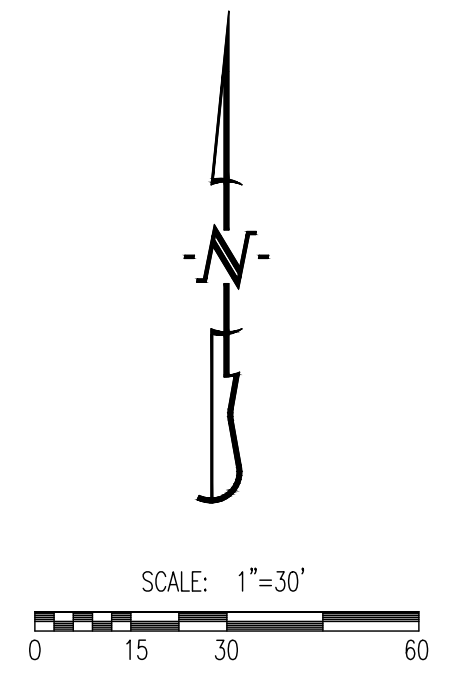
SHEET:
CE1

Y:\2023\230063-KO Storage\Civil\ACAD Files\Construction Plans\230063_SiteBase.dwg



LEGEND OF LABELS

- (A) PORTION OF EXISTING FENCE TO BE RELOCATED. CONTRACTOR TO COORDINATE WITH OWNER. PERMISSION TO REMOVE FENCE ON ADJACENT PROPERTY WILL BE REQUIRED.
- (B) EXISTING GRAVEL AREA TO BE REMOVED AND DISPOSED OFF-SITE.
- (C) CONTRACTOR TO SAWCUT AND REMOVE EXISTING ASPHALT PAVEMENT AS REQUIRED FOR UTILITY CONSTRUCTION. CONTRACTOR TO ENSURE A SMOOTH JOINT. CONTRACTOR SHALL COORDINATE WITH CITY OF MOBERLY WORK WITHIN RIGHT-OF-WAY AND OBTAIN ANY NECESSARY PERMITS.



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 MOBERLY, MO 65270

KO STORAGE EXPANSION

MOBERLY, RANDOLPH COUNTY, MISSOURI

DRAWING INCLUDES:
 EROSION CONTROL PLAN

DESIGNED: TDC

DRAWN: JEE

PROJECT NO: 230063

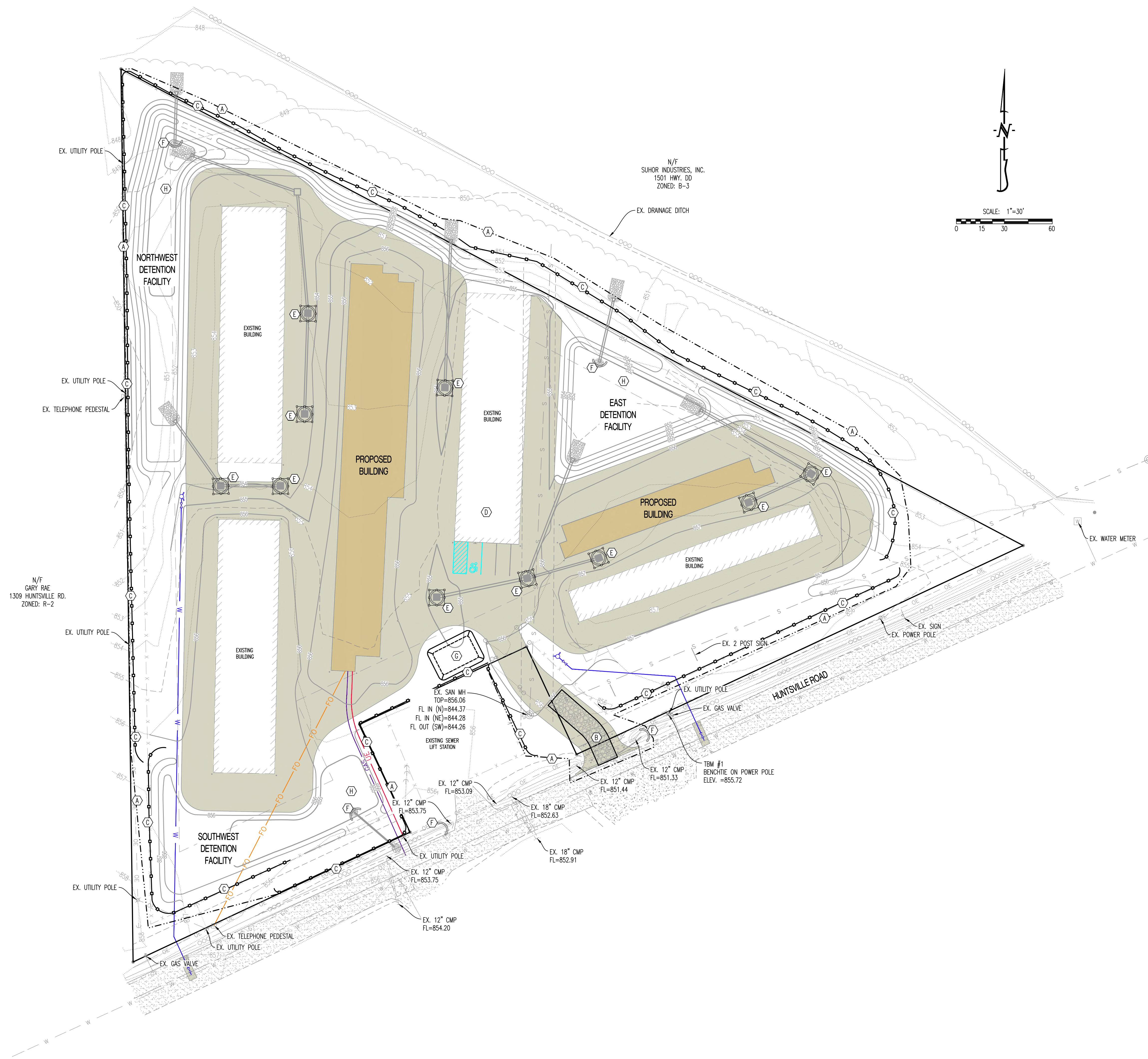
SHEET: CE 2

LEGEND OF LABELS:

- (A) LIMITS OF DISTURBANCE.
- (B) INSTALL 3" CRUSHED STONE FOR CONSTRUCTION EXIT (6" THICK x 12'W x 50'L). ALL CONSTRUCTION TRAFFIC SHALL LEAVE THE SITE VIA THIS EXIT.
- (C) INSTALL SILT FENCE OR FIBER ROLL AS SHOWN.
- (D) TOP SOIL TO BE STORED OFF-SITE AND BROUGHT BACK AS REQUIRED FOR FINAL GRADING.
- (E) SILT FENCE INLET PROTECTION WRAPPED AROUND THROAT OF INLET. REPLACE SILT FENCE WITH GUTTERBUDDY ® (OR APPROVED EQUAL) AT THROAT OF INLET AFTER PAVING OPERATION ARE COMPLETE.
- (F) INSTALL FIBER ROLL OR APPROVED EQUAL.
- (G) 20' X 30' X 3' MIN CONCRETE WASHOUT FACILITY. THE WASHOUT FACILITY IS TO BE LINED WITH A PLASTIC LINING MATERIAL (10 MIL POLYETHYLENE SHEETING MIN.) FREE OF HOLES, TEARS, OR OTHER DEFECTS THAT COULD COMPROMISE THE IMPERMEABILITY OF THE MATERIAL. WASHOUT FACILITIES MUST BE CLEANED, OR NEW FACILITIES MUST BE CONSTRUCTED AND READY FOR USE ONCE THE WASHOUT IS 75% FULL. A SIGN SHALL BE INSTALLED ADJACENT TO FACILITY TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES.
- (H) PROPOSED DETENTION FACILITY AREA TO BE USED AS A TEMPORARY SEDIMENT TRAP UNTIL AREAS DRAINING TO HAS VEGETATION ESTABLISHED.

STORMWATER PROTECTION NARRATIVE

- THE PROJECT CONSISTS OF CONSTRUCTION OF NEW STORAGE BUILDINGS AND PAVING OF EXISTING GRAVEL DRIVES. TOTAL DISTURBED AREA IS 3.48 ACRES FOR ALL WORK.
- TO PROTECT RUNOFF AND EROSION CONTROL, INLET PROTECTION, SILT FENCE, AND VELOCITY DISSIPATION SHALL BE PROVIDED WITHIN AND IMMEDIATELY DOWNSTREAM OF THE DRAINAGE AREA TO ENSURE THAT SILT DOES NOT LEAVE THE SITE. WHEN SILT ACCUMULATES TO MORE THAN HALF THE FENCE HEIGHT, IT SHALL BE REMOVED. REPLACE ANY TORN OR CLOGGED FABRIC OR BROKEN POSTS AS MAY BE REQUIRED.
- THE EROSION CONTROL MEASURE SHALL REMAIN IN PLACE UNTIL THE SITE HAS BEEN STABILIZED AND VEGETATION IS ESTABLISHED OVER MINIMUM OF 70% OF THE DISTURBED AREA.
- ALL EROSION CONTROL MEASURES ARE TO BE INSTALLED PRIOR TO LAND DISTURBANCE. SHOULD CONSTRUCTION CEASE FOR MORE THAN 14 DAYS, THE SITE SHALL BE TEMPORARY SEEDED TO STABILIZED ALL DISTURBED AREA.
- EROSION CONTROL FACILITIES TO BE INSPECTED AT A MINIMUM OF ONCE PER WEEK OR AFTER EVERY MAJOR STORM EVENT THAT PRODUCES RUN-OFF.
- ADDITIONAL EROSION CONTROL MEASURE TO BE INSTALLED AS NEEDED TO ENSURE NO SILT LEAVES THE SITE.



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 MOBERLY, MO 65270

KO STORAGE EXPANSION

MOBERLY, RANDOLPH COUNTY, MISSOURI

DRAWING INCLUDES:

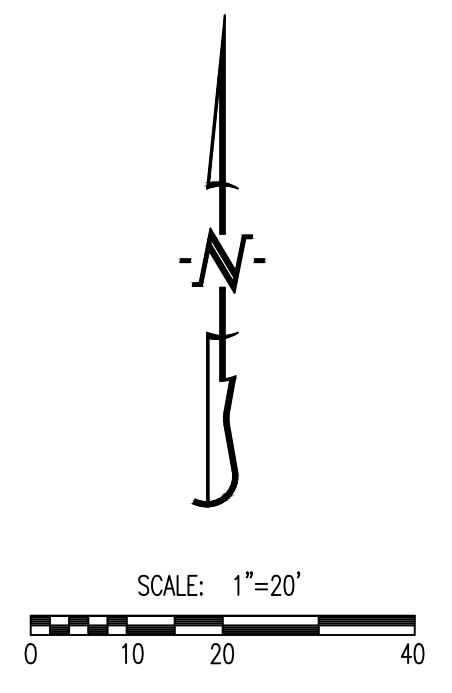
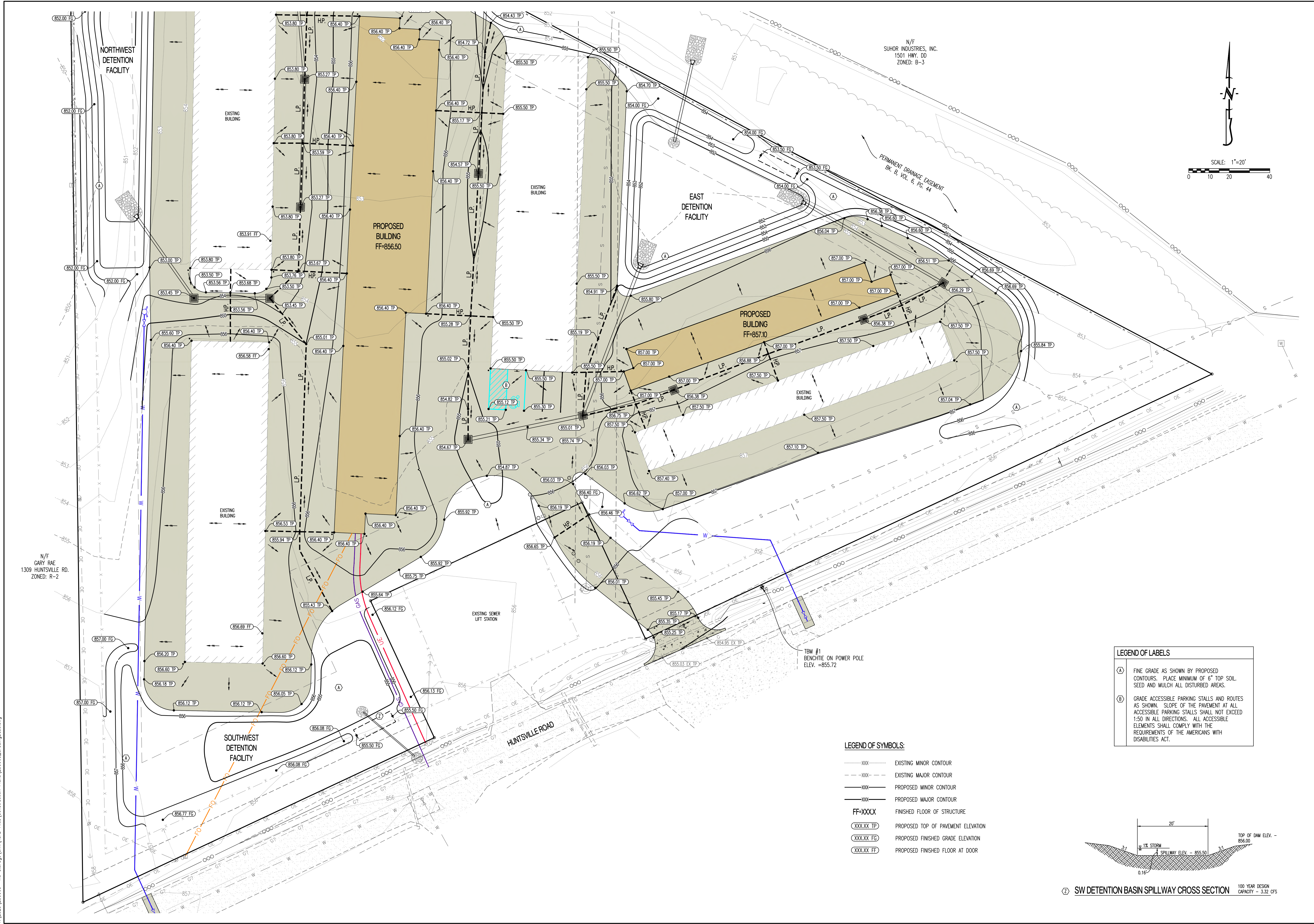
GRADING PLAN
SHEET 1 OF 2

DESIGNED: TDC

DRAWN: JEE

PROJECT NO: 230063

SHEET:
CE 3

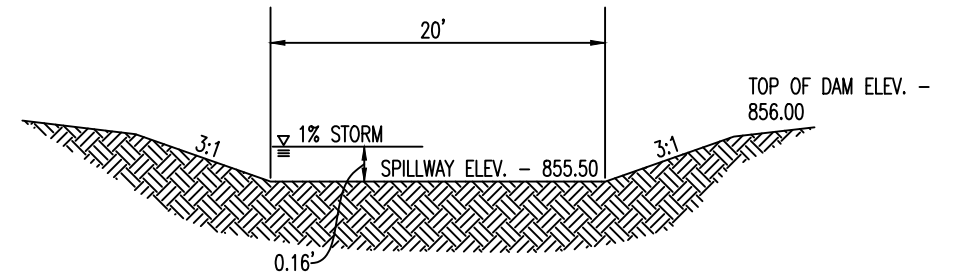


LEGEND OF LABELS

(A)	FINE GRADE AS SHOWN BY PROPOSED CONTOURS. PLACE MINIMUM OF 6" TOP SOIL, SEED AND MULCH ALL DISTURBED AREAS.
(B)	GRADE ACCESSIBLE PARKING STALLS AND ROUTES AS SHOWN. SLOPE OF THE PAVEMENT AT ALL ACCESSIBLE PARKING STALLS SHALL NOT EXCEED 1:50 IN ALL DIRECTIONS. ALL ACCESSIBLE ELEMENTS SHALL COMPLY WITH THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT.

LEGEND OF SYMBOLS:

.....	EXISTING MINOR CONTOUR
-----	EXISTING MAJOR CONTOUR
.....	PROPOSED MINOR CONTOUR
-----	PROPOSED MAJOR CONTOUR
FF-XXXX	FINISHED FLOOR OF STRUCTURE
XXX.XX TP	PROPOSED TOP OF PAVEMENT ELEVATION
XXX.XX FC	PROPOSED FINISHED GRADE ELEVATION
XXX.XX FF	PROPOSED FINISHED FLOOR AT DOOR



SW DETENTION BASIN SPILLWAY CROSS SECTION 100 YEAR DESIGN CAPACITY - 3.32 CFS

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MOBERLY, MO 65270

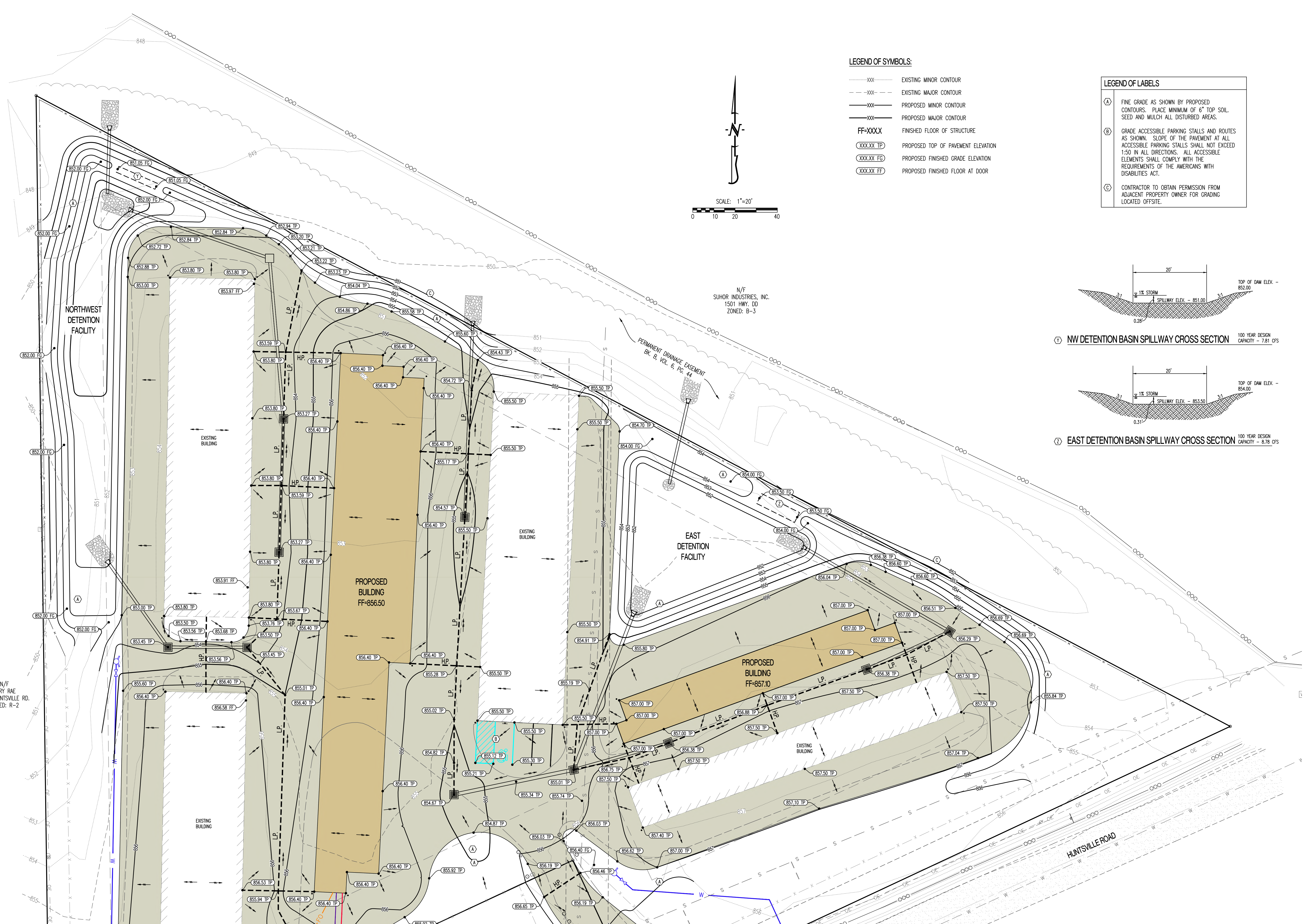
KO STORAGE EXPANSION

MOBERLY, RANDOLPH COUNTY, MISSOURI

DRAWING INCLUDES:

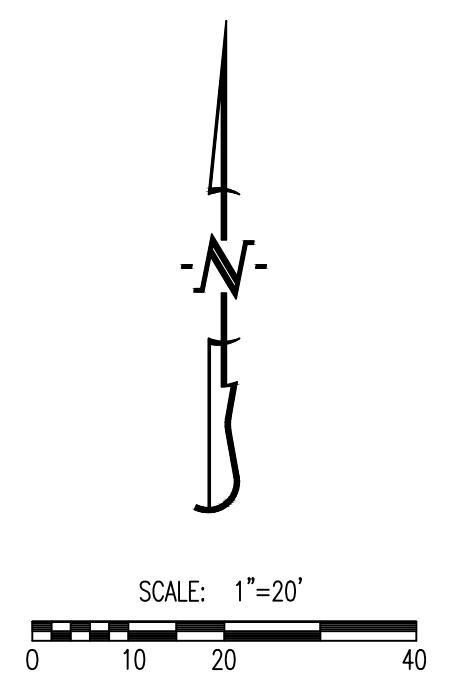
GRADING PLAN
SHEET 2 OF 2

DESIGNED: TDC
DRAWN: JEE
PROJECT NO: 230063
SHEET: CE 4



- LEGEND OF SYMBOLS:**
- XXX--- EXISTING MINOR CONTOUR
 - - -XXX- - - EXISTING MAJOR CONTOUR
 - XXX--- PROPOSED MINOR CONTOUR
 - XXX--- PROPOSED MAJOR CONTOUR
 - FF=XXXX FINISHED FLOOR OF STRUCTURE
 - (XXX.XX TP) PROPOSED TOP OF PAVEMENT ELEVATION
 - (XXX.XX FG) PROPOSED FINISHED GRADE ELEVATION
 - (XXX.XX FF) PROPOSED FINISHED FLOOR AT DOOR

- LEGEND OF LABELS:**
- (A) FINE GRADE AS SHOWN BY PROPOSED CONTOURS. PLACE MINIMUM OF 6" TOP SOIL. SEED AND MULCH ALL DISTURBED AREAS.
 - (B) GRADE ACCESSIBLE PARKING STALLS AND ROUTES AS SHOWN. SLOPE OF THE PAVEMENT AT ALL ACCESSIBLE PARKING STALLS SHALL NOT EXCEED 1:50 IN ALL DIRECTIONS. ALL ACCESSIBLE ELEMENTS SHALL COMPLY WITH THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT.
 - (C) CONTRACTOR TO OBTAIN PERMISSION FROM ADJACENT PROPERTY OWNER FOR GRADING LOCATED OFFSITE.



Y:\2023\230063 - KO Storage\Civil\ACAD Files\Construction Plans\230063_GradingBase.dwg

N/F
GARY RAE
1309 HUNTSVILLE RD.
ZONED: R-2

N/F
SUHOR INDUSTRIES, INC.
1501 HWY. DD
ZONED: B-3

PERMANENT DRAINAGE EASEMENT
DK. B, VOL. 6, PG. 44

(Y) NW DETENTION BASIN SPILLWAY CROSS SECTION 100 YEAR DESIGN CAPACITY - 7.81 cfs

(Z) EAST DETENTION BASIN SPILLWAY CROSS SECTION 100 YEAR DESIGN CAPACITY - 8.78 cfs

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 MOBERLY, MO 65270

KO STORAGE EXPANSION

MOBERLY, RANDOLPH COUNTY, MISSOURI

DRAWING INCLUDES:

UTILITY PLAN

DESIGNED: TDC

DRAWN: JEE

PROJECT NO: 230063

SHEET:

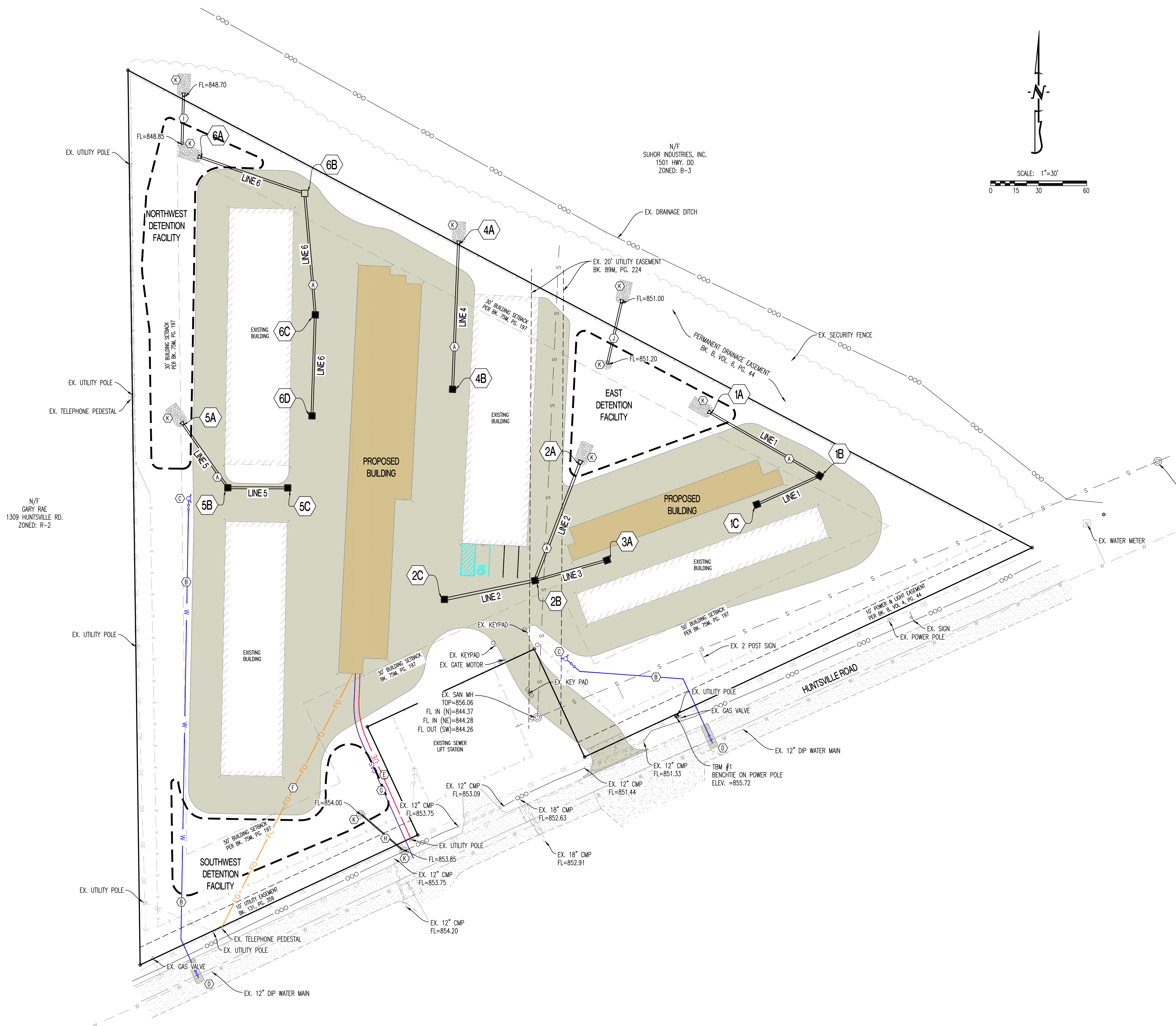
CE 5

LEGEND OF LABELS

- (A) PROPOSED STORM SEWER. REFER TO STORM SEWER PROFILES ON SHEET CE 6.
- (B) INSTALL 6" C-900, CLASS 150, DR 18 PVC WATER LINE PER CITY OF MOBERLY SPECIFICATIONS.
- (C) INSTALL 6" FIRE HYDRANT ASSEMBLY (INCLUDE FIRE HYDRANT, 6" GATE VALVE WITH VALVE BOX TO SURFACE, AND TEE WHERE APPLICABLE. COORDINATE WITH THE CITY FOR SPECIFIC TYPE OF FIRE HYDRANT (2 TOTAL). SEE WATER LINE MAIN DETAILS ON SHEET CE 10. FIRE HYDRANT SHALL BE INSTALLED PER CITY OF MOBERLY SPECIFICATIONS.
- (D) CONNECT TO EXISTING 12" DIP WATER MAIN AS REQUIRED. CONTRACTOR TO COORDINATE TAP WITH CITY OF MOBERLY WATER DEPARTMENT. TAP SHALL MEET CITY OF MOBERLY SPECIFICATIONS.
- (E) COORDINATE WITH LOCAL ELECTRIC UTILITY COMPANY TO EXTEND ELECTRIC SERVICE FROM EXISTING OVERHEAD ELECTRIC LINE TO NEW BUILDING. NEW ELECTRIC LINE TO RUN DOWN POLE AND BE INSTALLED UNDERGROUND. REFER TO MEP PLANS FOR SPECIFIC ENTRANCE TO BUILDING.
- (F) COORDINATE WITH LOCAL COMMUNICATION COMPANY TO EXTEND TELEPHONE AND COMMUNICATION WIRING FROM EXISTING PEDESTAL TO NEW BUILDING. REFER TO MEP PLANS FOR SPECIFIC ENTRANCE TO BUILDING.
- (G) INSTALL GAS SERVICE LINE TO BUILDING. CONTRACTOR TO COORDINATE WITH GAS PROVIDER.
- (H) INSTALL 30 L.F. OF 6" PVC STORM PIPE AT 0.50% GRADE. REFER TO PLAN FOR ELEVATIONS.
- (I) INSTALL 30 L.F. OF 12" PVC STORM SEWER AT 0.50% GRADE. REFER TO PLAN FOR ELEVATIONS.
- (J) INSTALL 40 L.F. OF 12" PVC STORM SEWER AT 0.50% GRADE. REFER TO PLAN FOR ELEVATIONS.
- (K) INSTALL RIP RAP PER DETAIL ON SHEET CE 9.

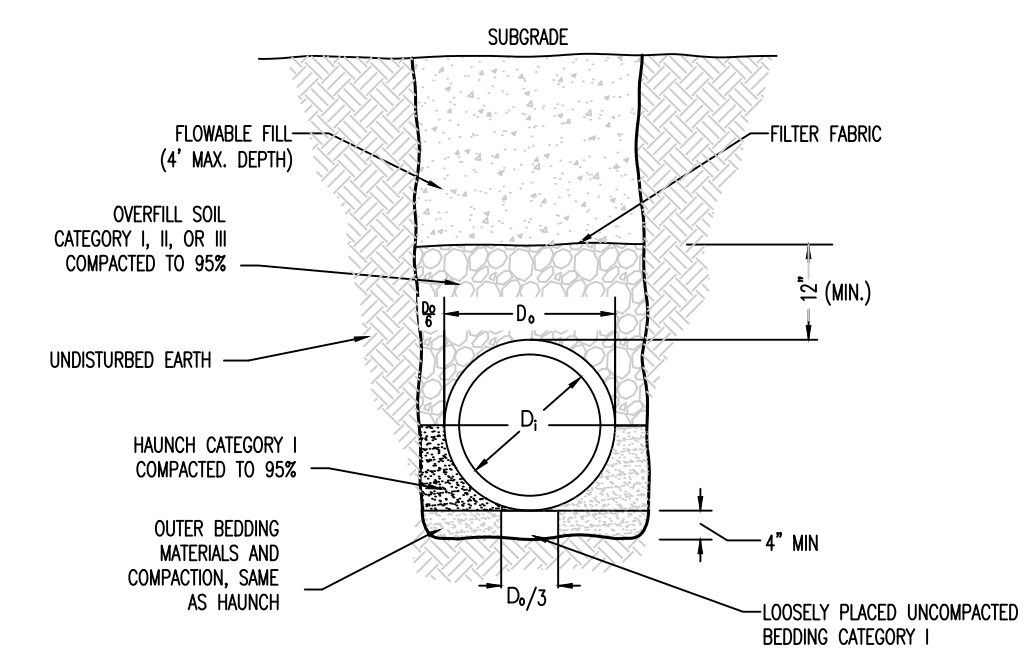
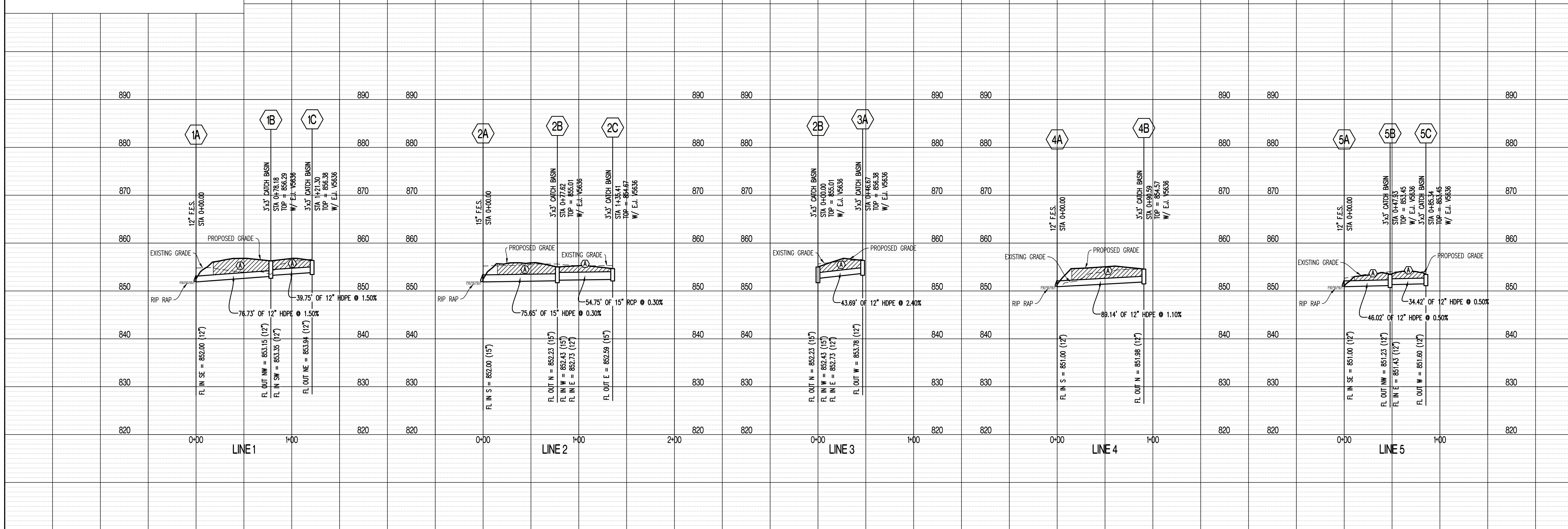
GENERAL NOTES

1. CONTRACTOR TO COORDINATE FINAL ELECTRICAL DESIGN AND TAP WITH LOCAL PROVIDER.
2. CONTRACTOR TO COORDINATE WITH THE CITY OF MOBERLY PUBLIC UTILITIES FOR SEWER AND WATER SERVICE LINES IF NEEDED.
3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ACQUIRE ALL EXISTING UTILITY LOCATIONS PRIOR TO CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO RESTORE ANY DAMAGED OR BROKEN UTILITY TO ORIGINAL OR BETTER CONDITION.
4. ALL PIPES, MAINS, AND SEWER SYSTEM SHALL BE INSTALLED USING THE PIPE EMBEDMENT DETAIL ON THE STORM PROFILE SHEET.
5. REFER TO PIPE EMBEDMENT DETAIL FOR PROPER PIPE BACKFILL MATERIAL.
6. CONTRACTOR SHALL COORDINATE WITH OWNER AND LOCAL PROVIDERS FOR UNDERGROUND FIBER OR COMMUNICATION WIRING.
7. ALL FITTINGS, TEES, BENDS, ECT. SHALL BE MECHANICAL JOINT WITH APPROPRIATE RESTRAINTS.
8. CONTRACTOR TO SPLASH ALL DOWNSPOUT TO GRADE AND PROVIDE A CONCRETE SPLASH BLOCK AT EACH LOCATION.
9. CONTRACTOR TO REFER TO MEP SITE PLAN FOR SITE LIGHTING.
10. NO SITE IRRIGATION SYSTEM TO BE INSTALLED AT THIS TIME.

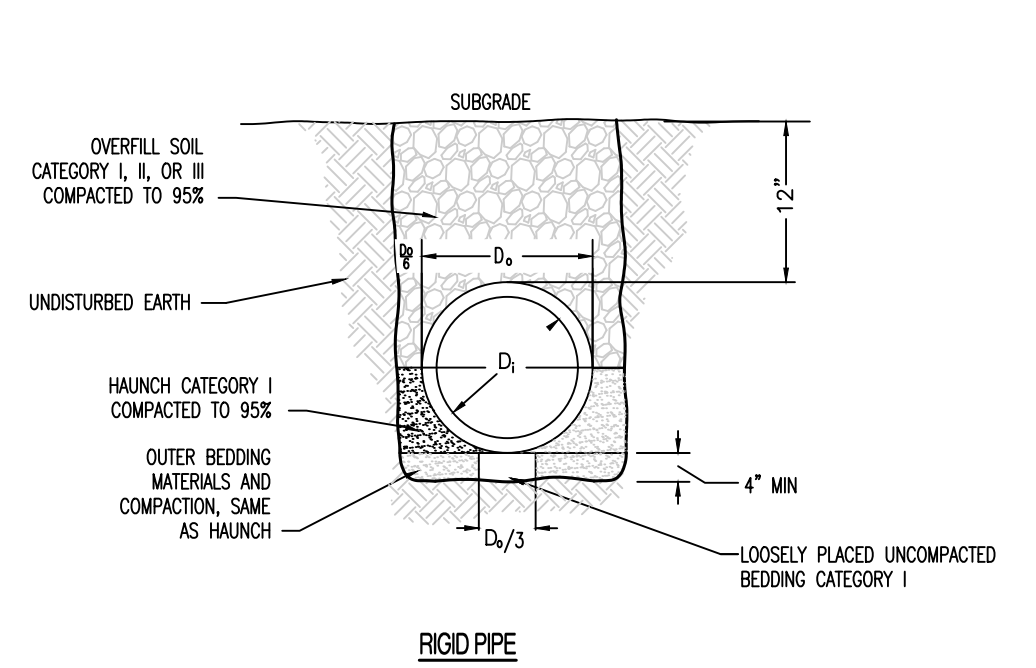
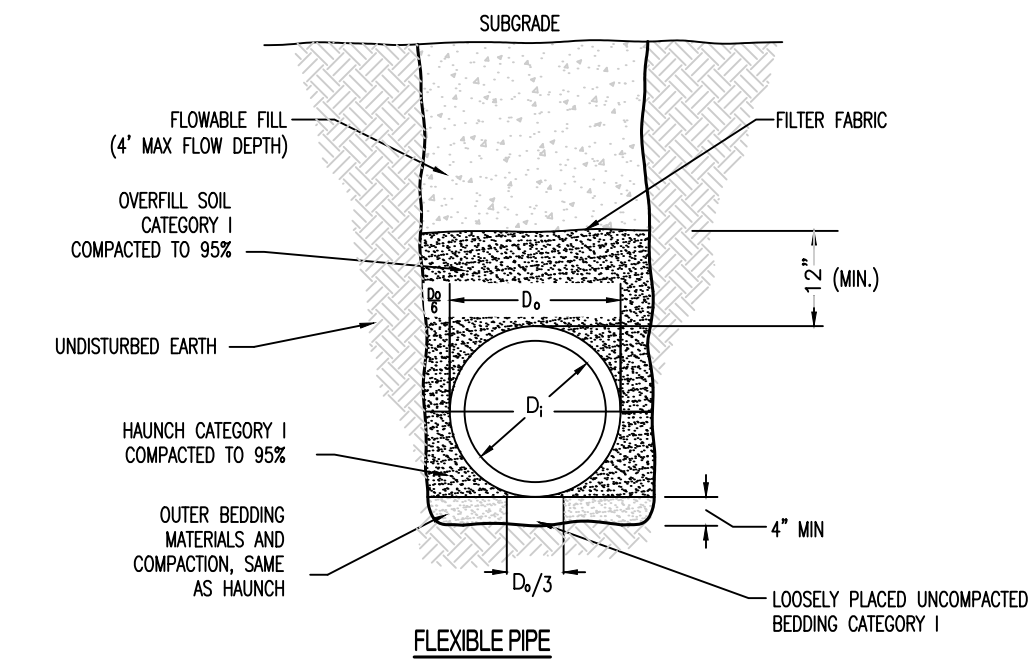


SCALE:
HORIZ 1" = 50'
VERT 1" = 10'

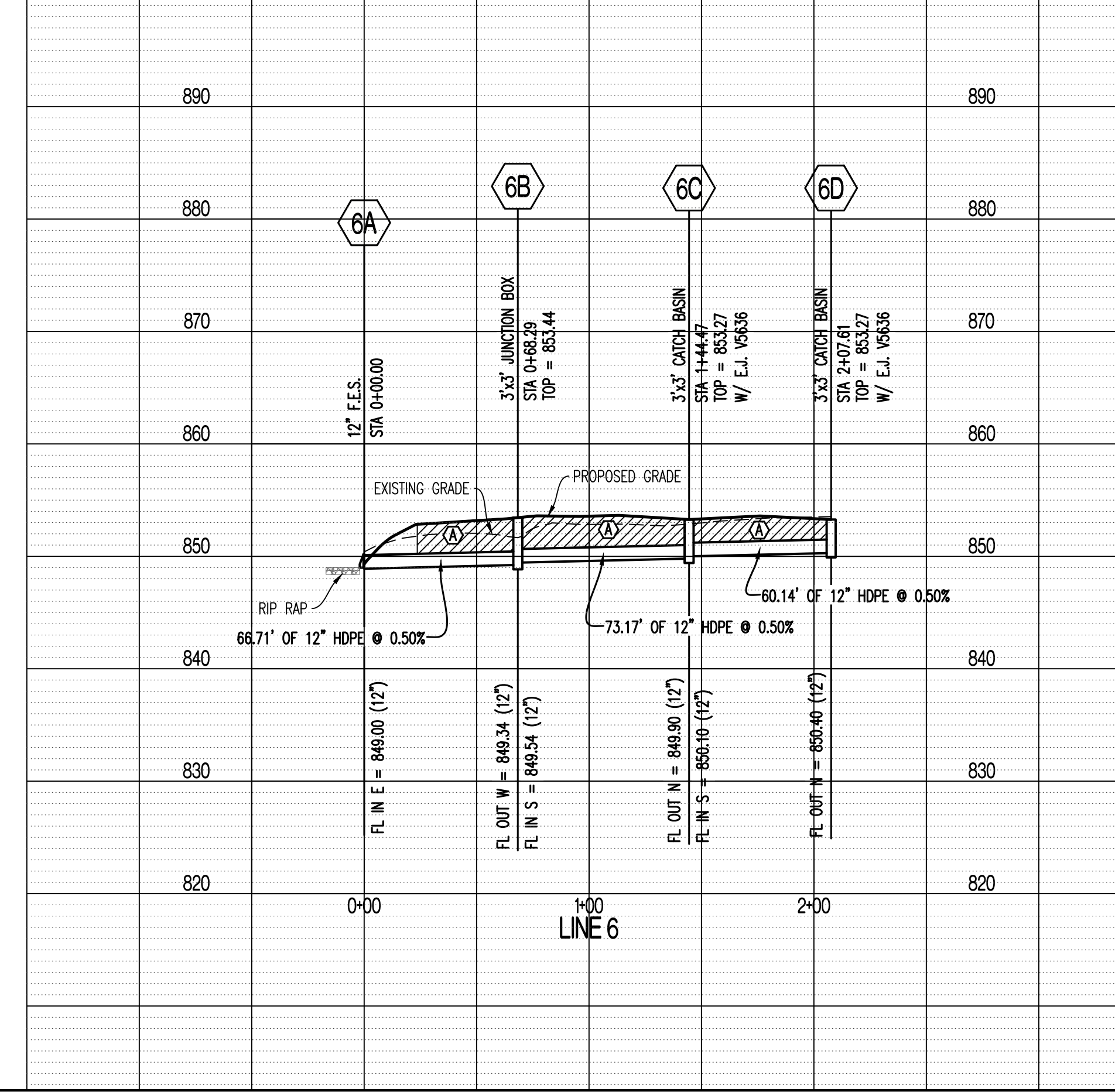
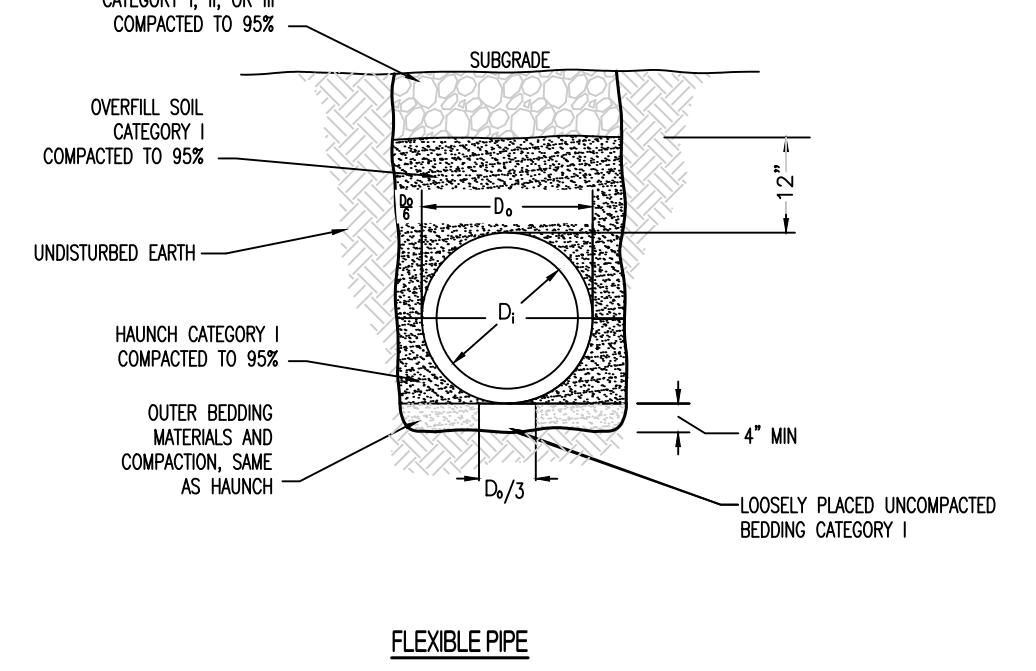
LEGEND OF LABELS:
Ⓐ REFER TO PIPE EMBEDMENT DETAIL (IN RIGHT-OF-WAY).
REFER TO DETAIL 540.01 THIS SHEET.



PIPE DIAMETER	PAYLINE/ MIN. TRENCH WIDTH	MAX. TRENCH WIDTH
12\"/>		



PIPE DIAMETER	PAYLINE/ MIN. TRENCH WIDTH	MAX. TRENCH WIDTH
8\"/>		



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1246 HUNTSVILLE RD
MOBERLY, MO 65207

KO STORAGE EXPANSION

MOBERLY, RANDOLPH COUNTY, MISSOURI

DRAWING INCLUDES:
STORM SEWER PROFILES

DESIGNED: TDC
DRAWN: JEE
PROJECT NO: 230063
SHEET: CE 6

REVISIONS:

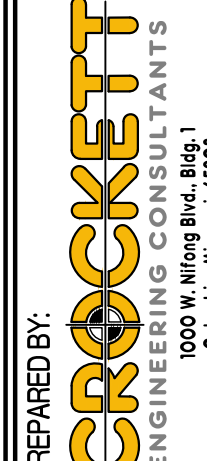
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KO STORAGE EXPANSION

MOBERLY, RANDOLPH COUNTY, MISSOURI

DRAWING INCLUDES:

SITE PLAN

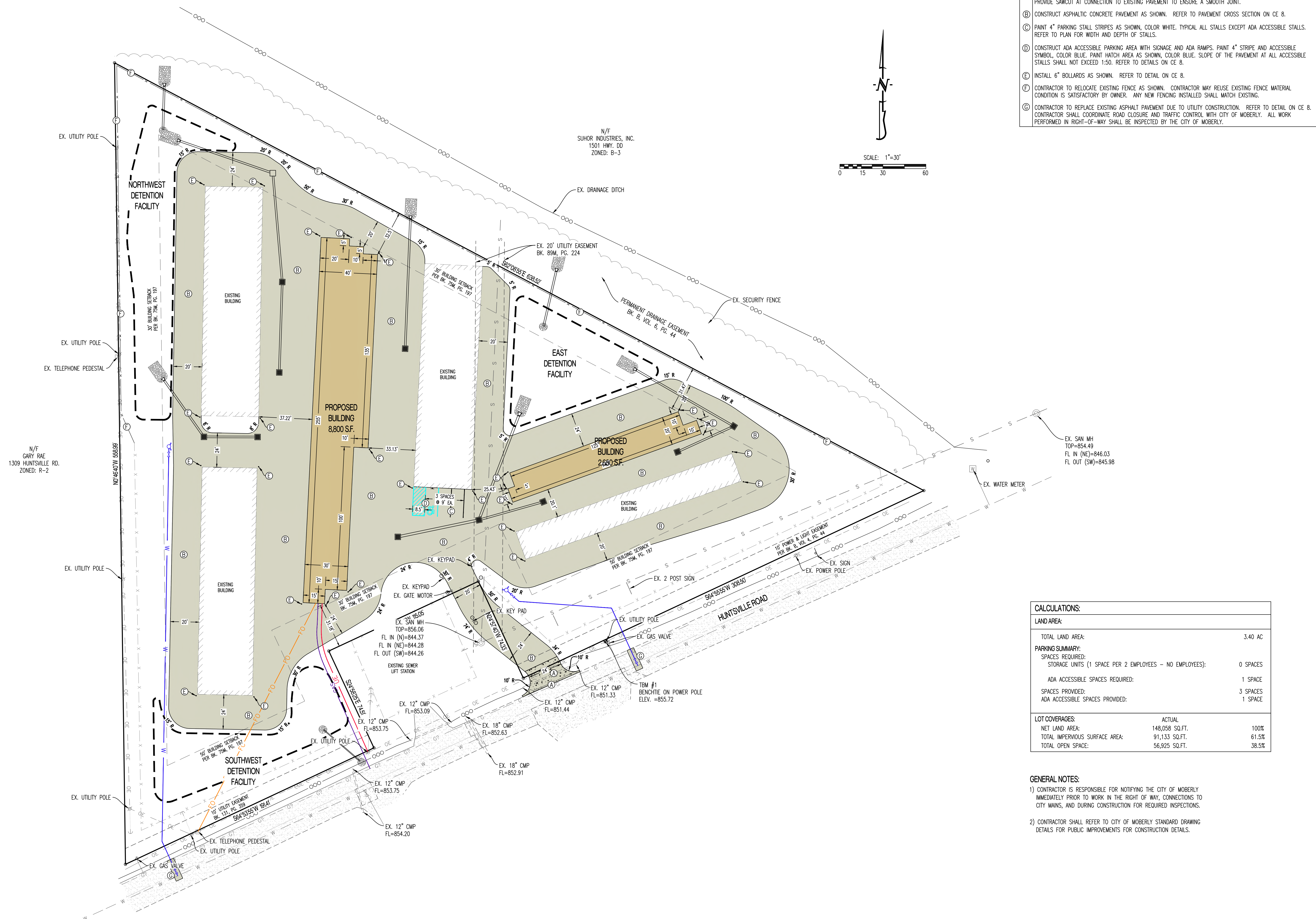
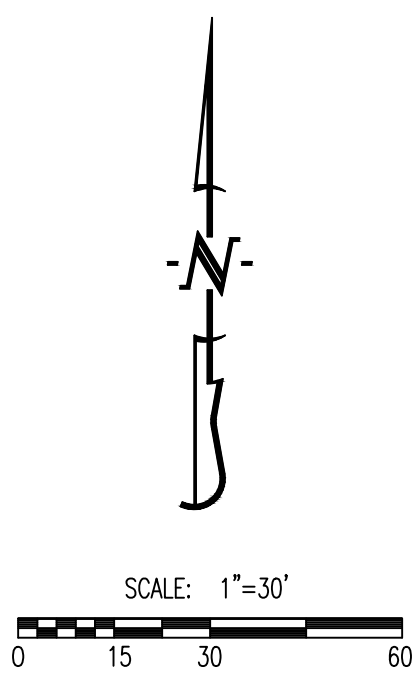
DESIGNED: TDC

DRAWN: JEE

PROJECT NO: 230063

SHEET:
CE 7

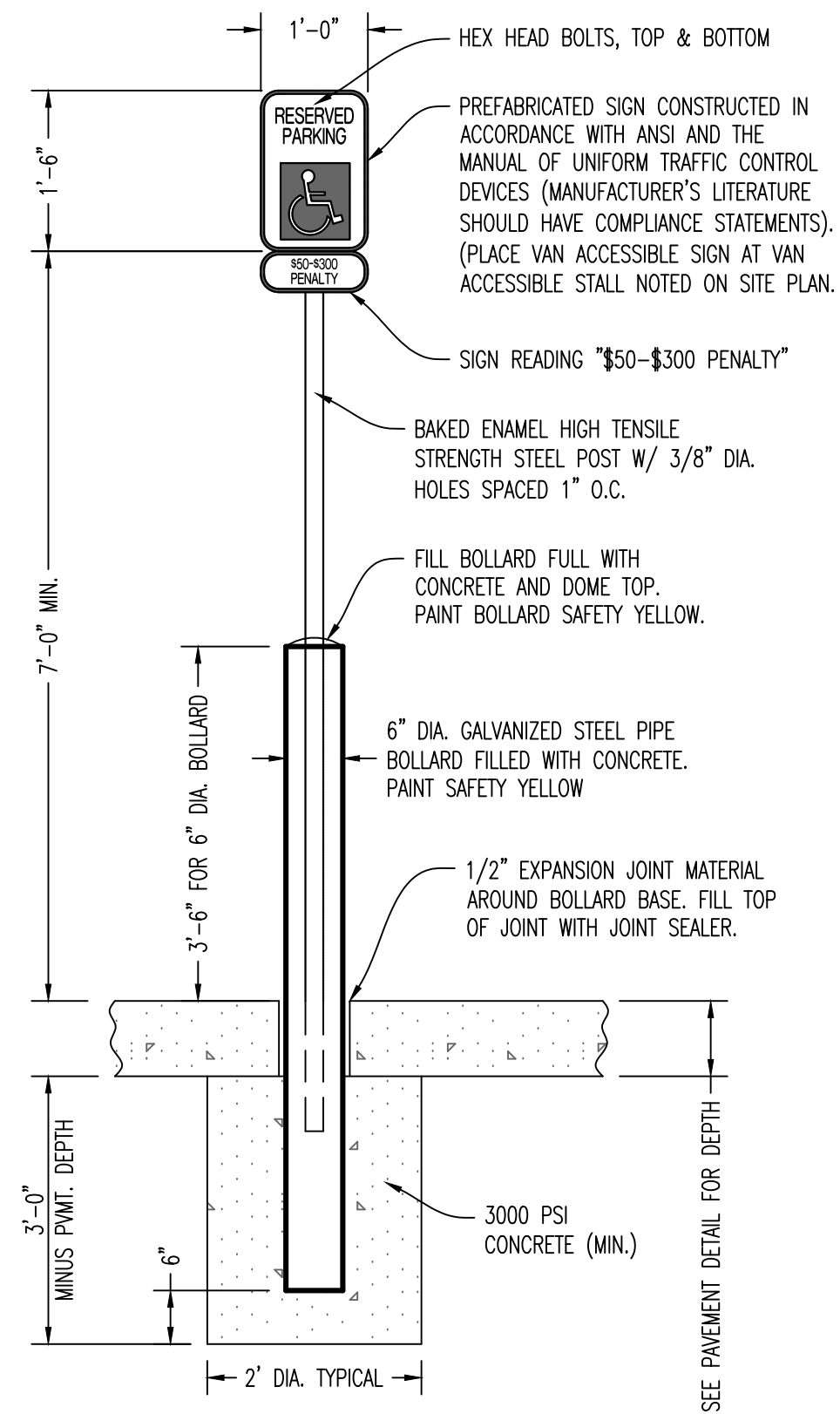
- LEGEND OF LABELS**
- (A) CONSTRUCT CONCRETE APPROACH AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 8. CONTRACTOR TO PROVIDE SAWCUT AT CONNECTION TO EXISTING PAVEMENT TO ENSURE A SMOOTH JOINT.
 - (B) CONSTRUCT ASPHALTIC CONCRETE PAVEMENT AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON CE 8.
 - (C) PAINT 4" PARKING STALL STRIPES AS SHOWN, COLOR WHITE. TYPICAL ALL STALLS EXCEPT ADA ACCESSIBLE STALLS. REFER TO PLAN FOR WIDTH AND DEPTH OF STALLS.
 - (D) CONSTRUCT ADA ACCESSIBLE PARKING AREA WITH SIGNAGE AND ADA RAMPS. PAINT 4" STRIPE AND ACCESSIBLE SYMBOL, COLOR BLUE. PAINT HATCH AREA AS SHOWN, COLOR BLUE. SLOPE OF THE PAVEMENT AT ALL ACCESSIBLE STALLS SHALL NOT EXCEED 1:50. REFER TO DETAILS ON CE 8.
 - (E) INSTALL 6" BOLLARDS AS SHOWN. REFER TO DETAIL ON CE 8.
 - (F) CONTRACTOR TO RELOCATE EXISTING FENCE AS SHOWN. CONTRACTOR MAY REUSE EXISTING FENCE MATERIAL CONDITION IS SATISFACTORY BY OWNER. ANY NEW FENCING INSTALLED SHALL MATCH EXISTING.
 - (G) CONTRACTOR TO REPLACE EXISTING ASPHALT PAVEMENT DUE TO UTILITY CONSTRUCTION. REFER TO DETAIL ON CE 8. CONTRACTOR SHALL COORDINATE ROAD CLOSURE AND TRAFFIC CONTROL WITH CITY OF MOBERLY. ALL WORK PERFORMED IN RIGHT-OF-WAY SHALL BE INSPECTED BY THE CITY OF MOBERLY.



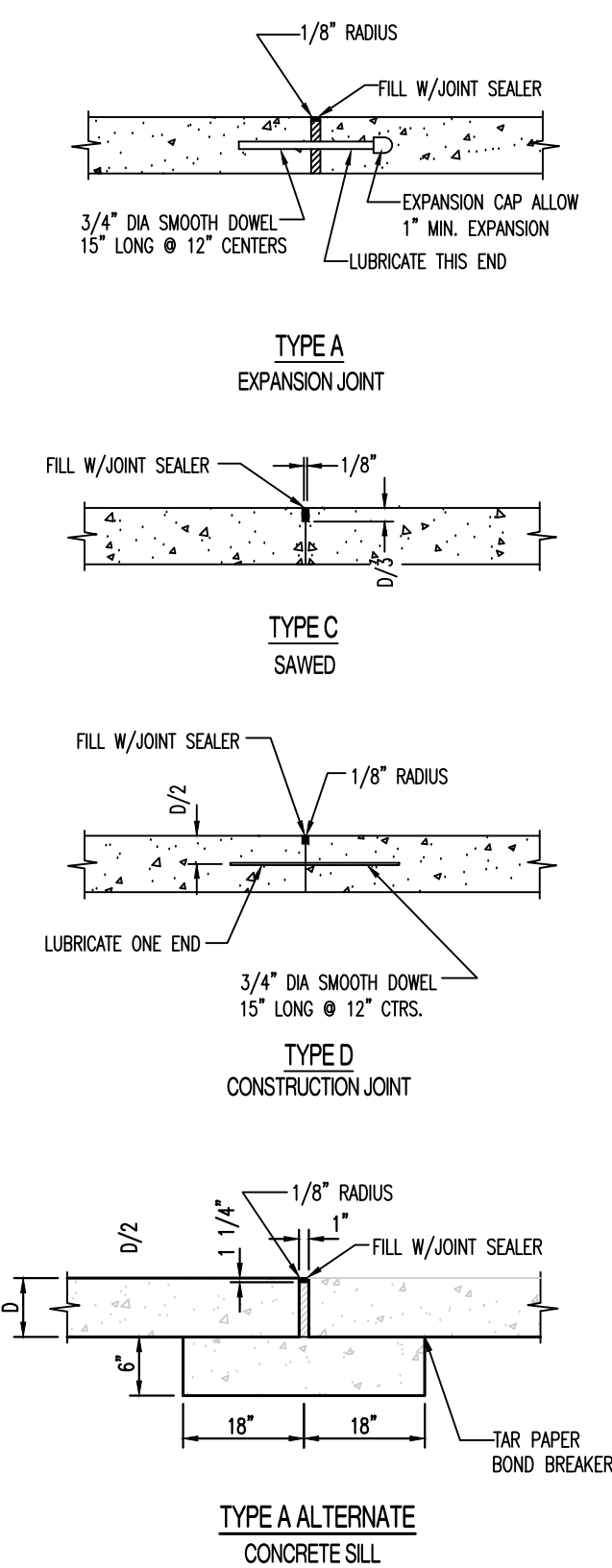
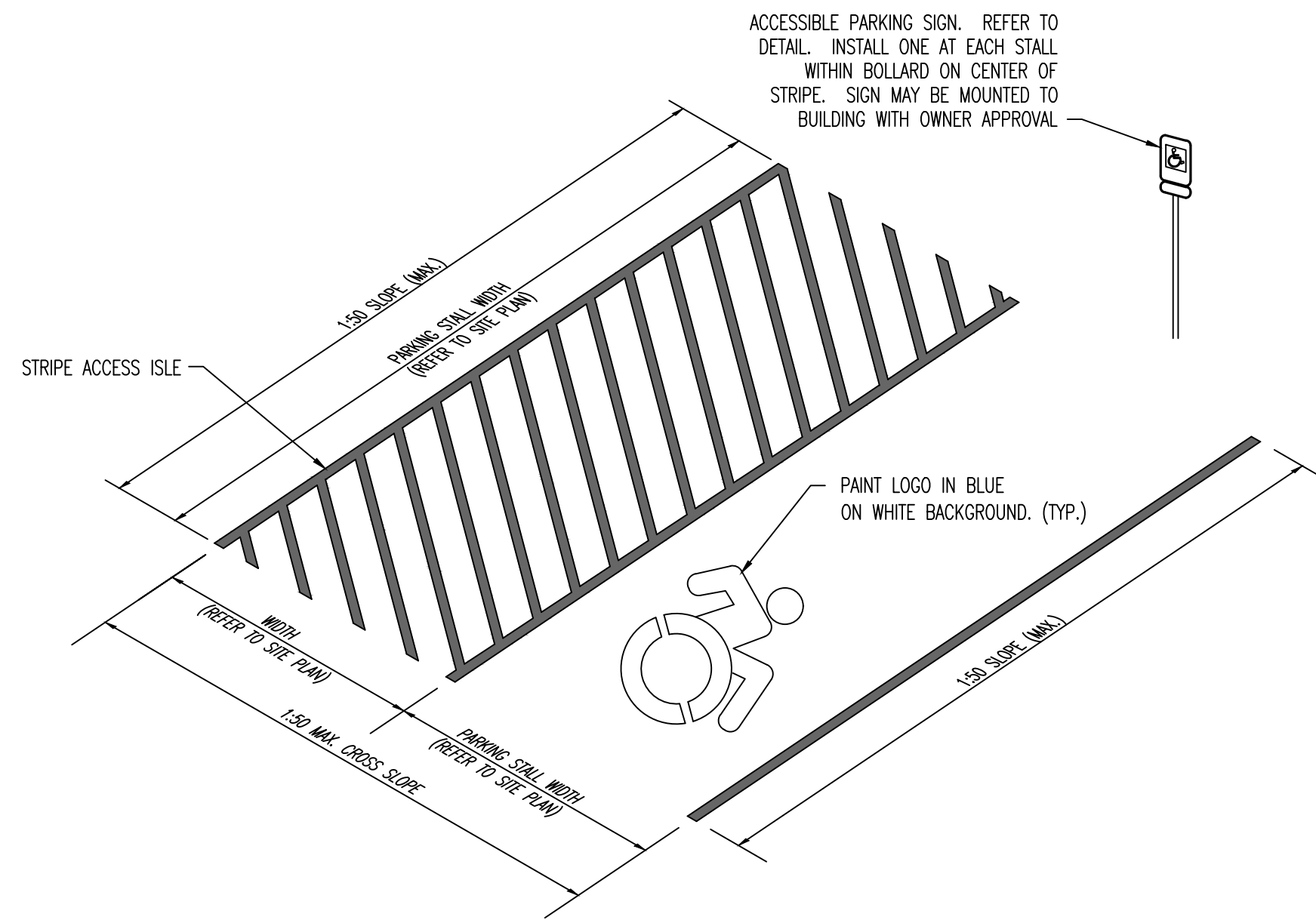
CALCULATIONS:

LAND AREA:		
TOTAL LAND AREA:		3.40 AC
PARKING SUMMARY:		
SPACES REQUIRED:		
STORAGE UNITS (1 SPACE PER 2 EMPLOYEES - NO EMPLOYEES):		0 SPACES
ADA ACCESSIBLE SPACES REQUIRED:		1 SPACE
SPACES PROVIDED:		3 SPACES
ADA ACCESSIBLE SPACES PROVIDED:		1 SPACE
LOT COVERAGES:		
	ACTUAL	
NET LAND AREA:	148,058 SQ.FT.	100%
TOTAL IMPERVIOUS SURFACE AREA:	91,133 SQ.FT.	61.5%
TOTAL OPEN SPACE:	56,925 SQ.FT.	38.5%

- GENERAL NOTES:**
- CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE CITY OF MOBERLY IMMEDIATELY PRIOR TO WORK IN THE RIGHT OF WAY, CONNECTIONS TO CITY MAINS, AND DURING CONSTRUCTION FOR REQUIRED INSPECTIONS.
 - CONTRACTOR SHALL REFER TO CITY OF MOBERLY STANDARD DRAWING DETAILS FOR PUBLIC IMPROVEMENTS FOR CONSTRUCTION DETAILS.

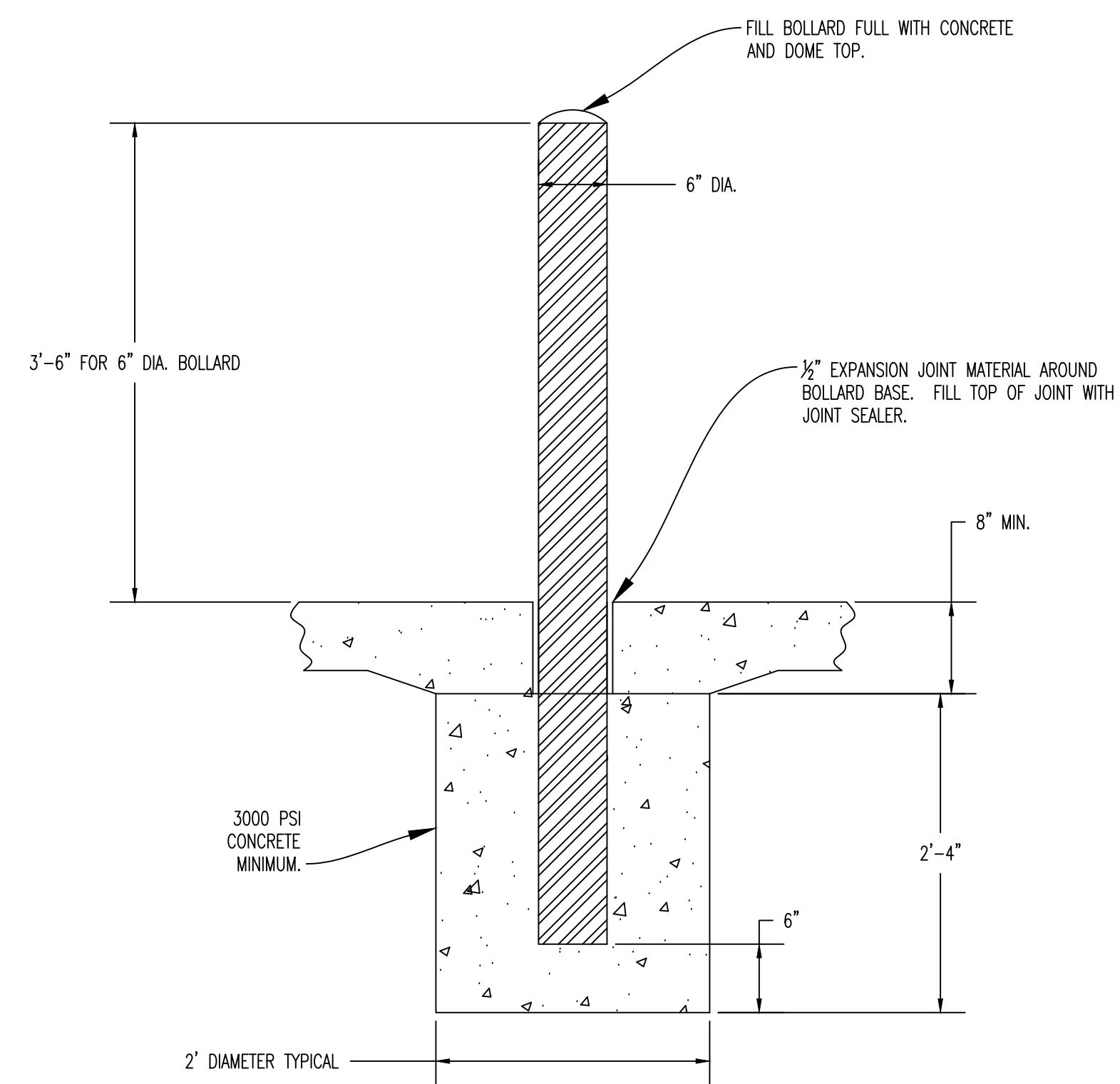


ACCESSIBLE PARKING SIGN W/ BOLLARD



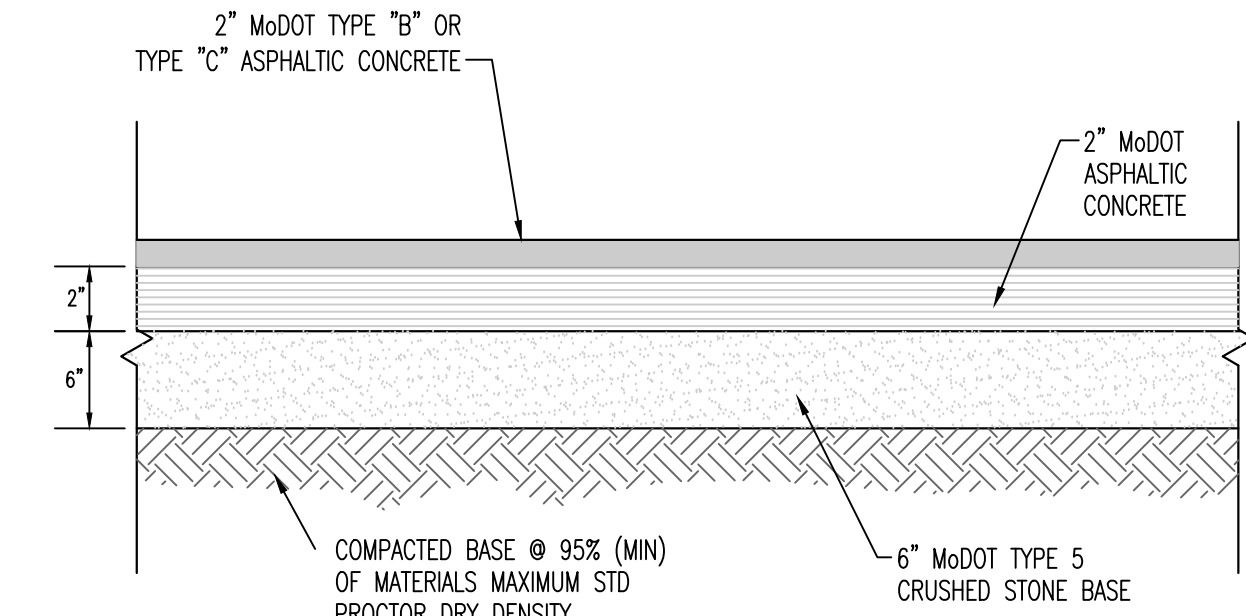
CONCRETE JOINT DETAILS

NOTE: JOINT SEALANT TO BE FUEL RESISTANT POLYURETHANE. CONTRACTOR TO SUBMIT SUBMITTAL FOR APPROVAL.

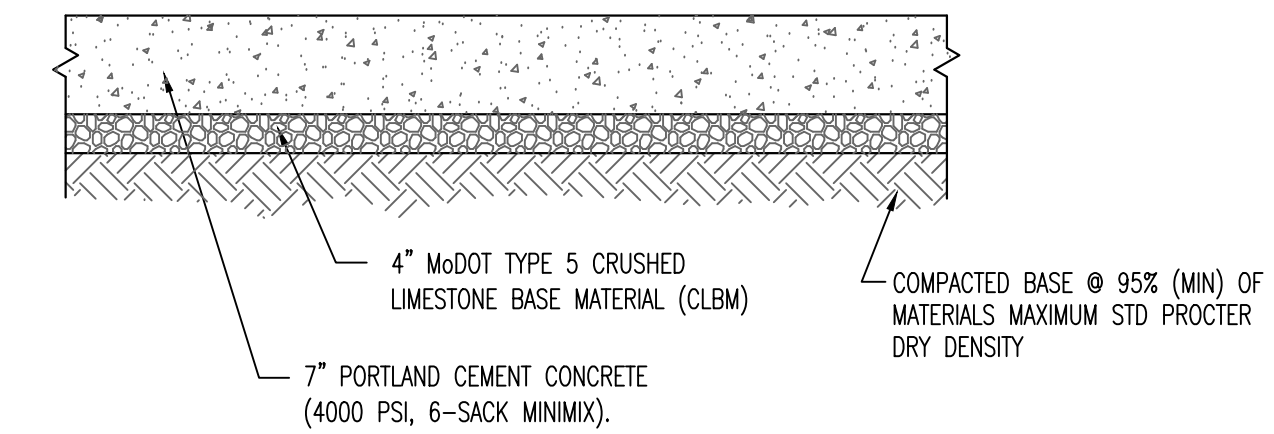


BOLLARD INSTALLATION DETAIL

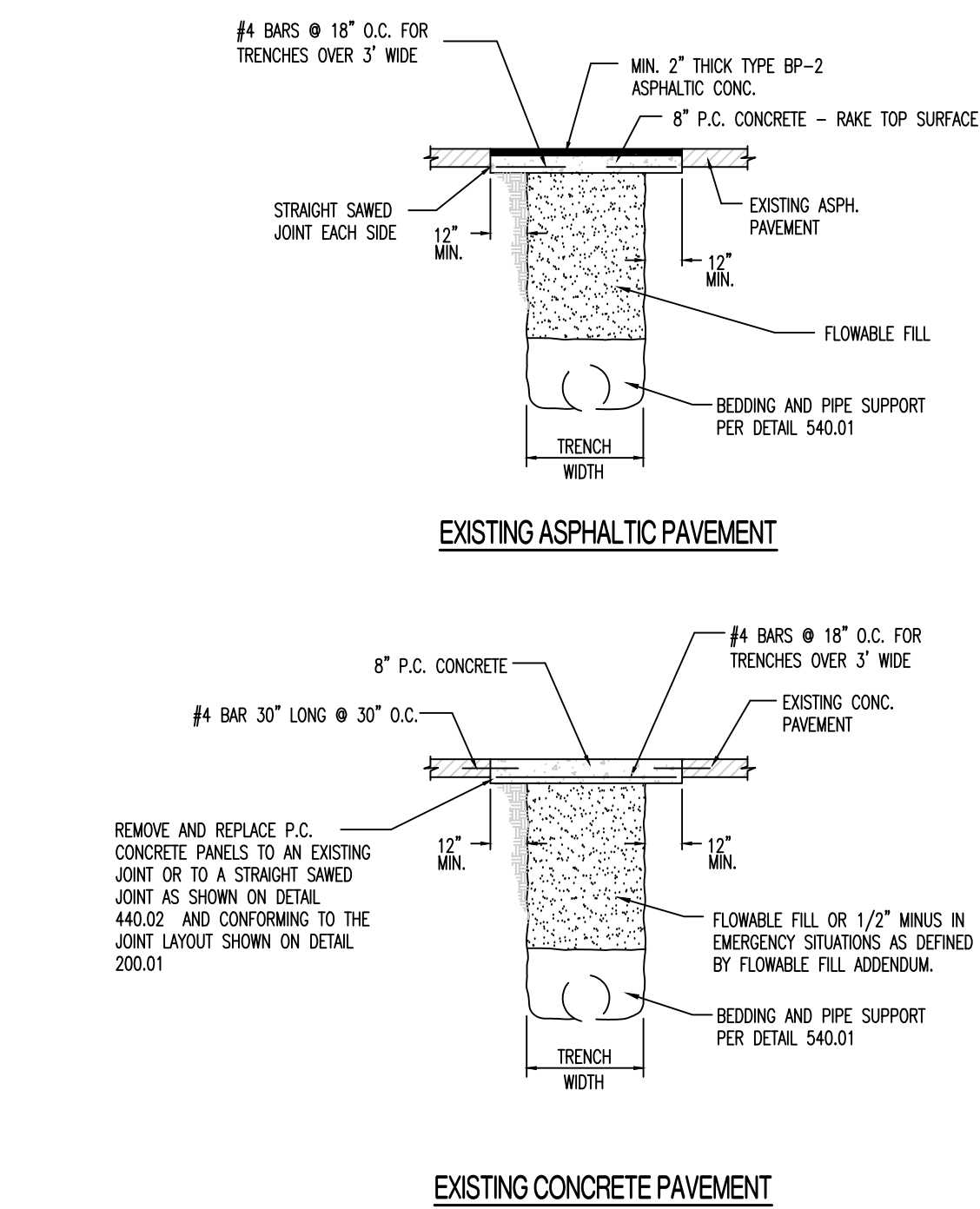
1. BOLLARDS AT FRONT OF BUILDING TO RECEIVE DECORATIVE SLEEVE. SEE ARCHITECTURAL.
2. BOLLARDS AT DUMBBSTER ENCLOSURE TO RECEIVE BREAKTIME RED PAINT



TYPICAL ASPHALT PAVEMENT CROSS SECTION



TYPICAL CONCRETE PAVEMENT CROSS SECTION



NOTES: CONCRETE SHALL BE CLASS AA REINFORCING STEEL SHALL BE GRADE 60

PATCHING Paved Streets (120.01)

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1000 W. HUNTSVILLE BLVD.
COLUMBIA, MISSOURI 65203
(314) 487-0200
www.crockettengineering.com
Crockett Engineering Consultants, LLC
Missouri Certificate of Authority
#000001001

OWNER:
KOSF F-MOBERLY, LLC
1246 HUNTSVILLE RD
MOBERLY, MO 65270

KO STORAGE EXPANSION
MOBERLY, RANDOLPH COUNTY, MISSOURI

DRAWING INCLUDES:

SITE
CONSTRUCTION
DETAILS

DESIGNED: TDC
DRAWN: JEE
PROJECT NO: 230063
SHEET:
CE 8

REVISIONS:

NO.	DATE
ORIGINAL	06/27/2023

THIS SHEET HAS BEEN SIGNED, SEALED AND DATED ELECTRONICALLY

PRELIMINARY
(NOT FOR CONSTRUCTION)

TIMOTHY D. CROCKETT
MO LICENSE: 2004000775

PREPARED BY:
CROCKETT
ENGINEERS & ARCHITECTS
1000 W. HUNTSVILLE RD.
COLEBURN, MISSOURI 65023
(370) 487-0292
www.crockettengineering.com
Crockett Engineering Consultants, LLC
Missouri Certificate of Authority
#000000001

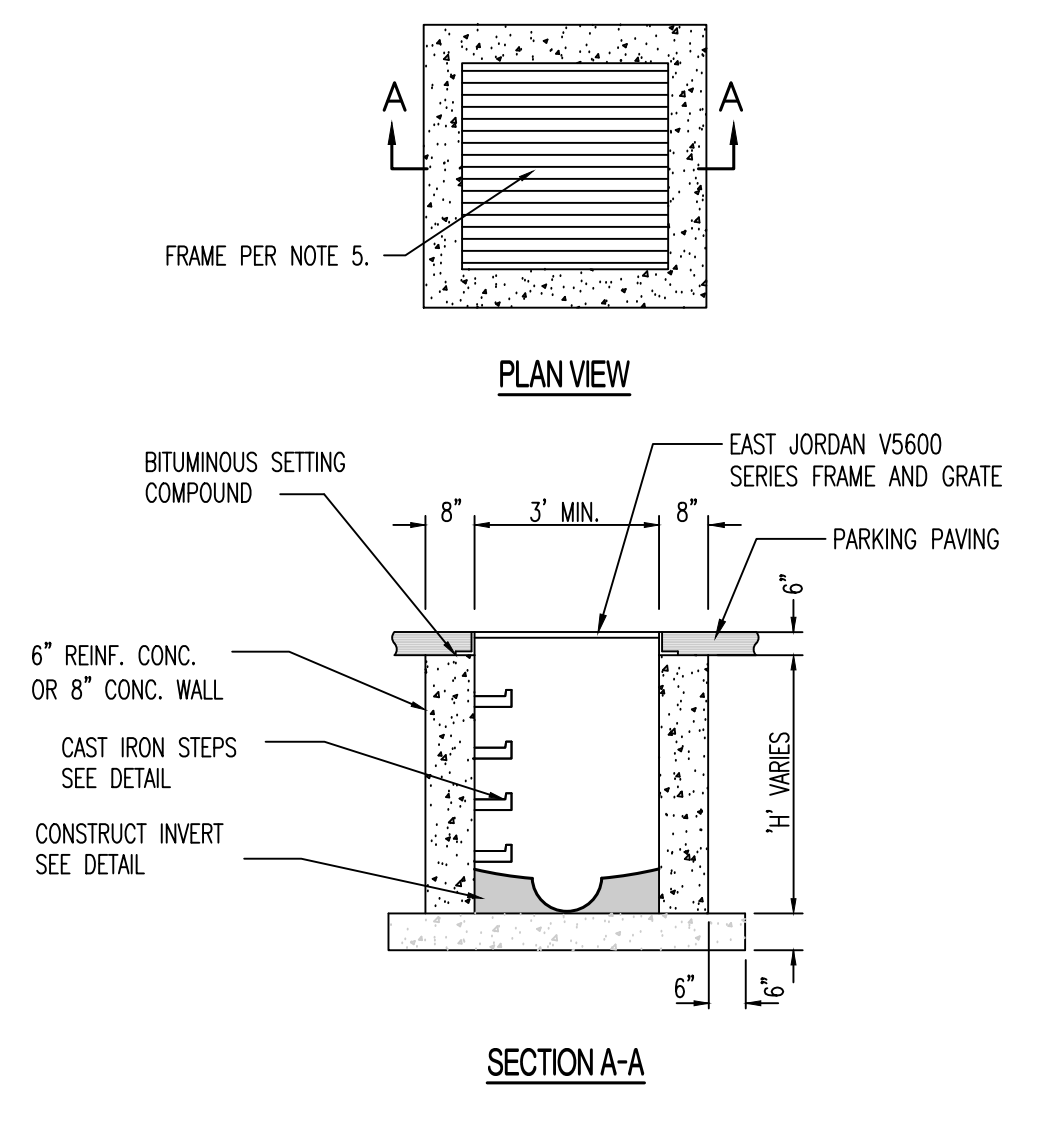
OWNER:
KOSF - MOBERLY, LLC
1246 HUNTSVILLE RD
MOBERLY, MO 65270

KO STORAGE EXPANSION

MOBERLY, RANDOLPH COUNTY, MISSOURI

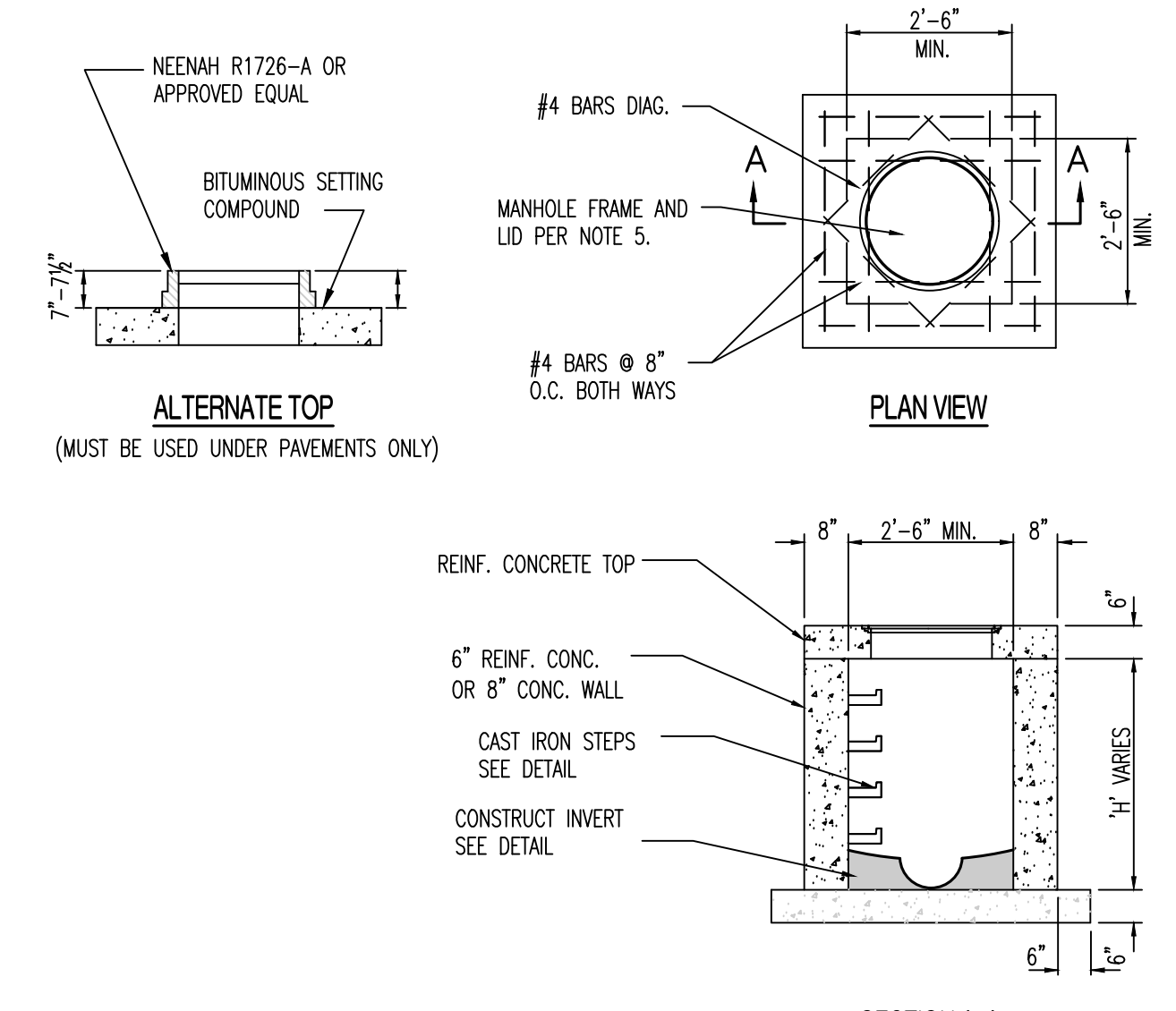
DRAWING INCLUDES:
STORM SEWER
DETAILS

DESIGNED: TDC
DRAWN: JEE
PROJECT NO: 230063
SHEET:
CE 9



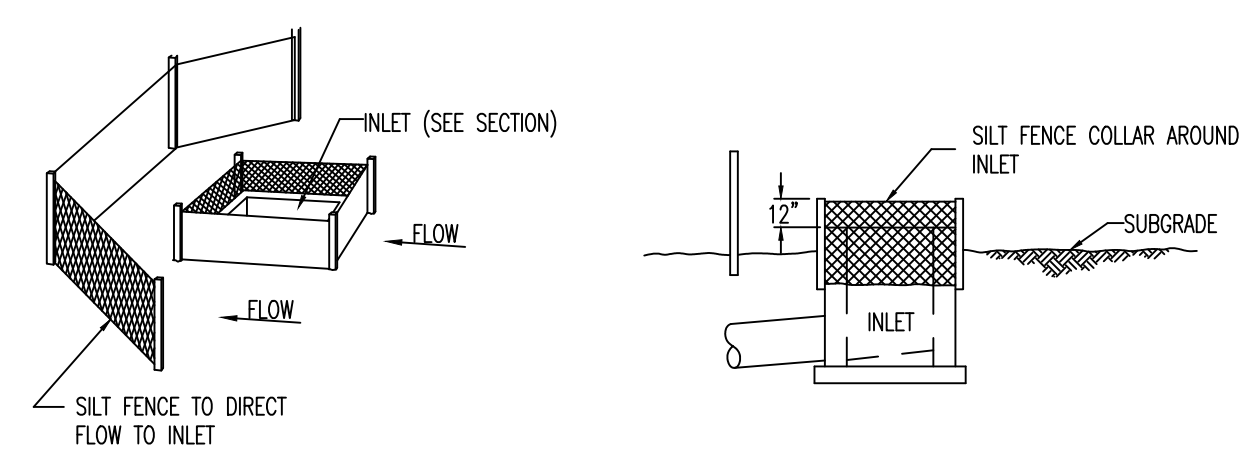
- NOTES:
1. CONCRETE SHALL BE CLASS E FOR BASES AND D FOR WALLS AND TOP.
 2. REINFORCING STEEL SHALL BE GRADE 60
 3. INSTALL WEEP HOLES AS PER DETAIL
 4. STRUCTURES WHERE H>8' SHALL BE REINFORCED CONCRETE (#4 BARS AT 12" CTRS, BOTH WAYS AND #4 BARS DIAGONAL AT PIPE OPENINGS)
 5. FRAME SHALL BE EAST JORDAN V5636 SERIES ASSEMBLY OR APPROVED EQUAL. SEE DETAIL FOR PLACEMENT. REFER TO PROFILES.

CATCH BASIN

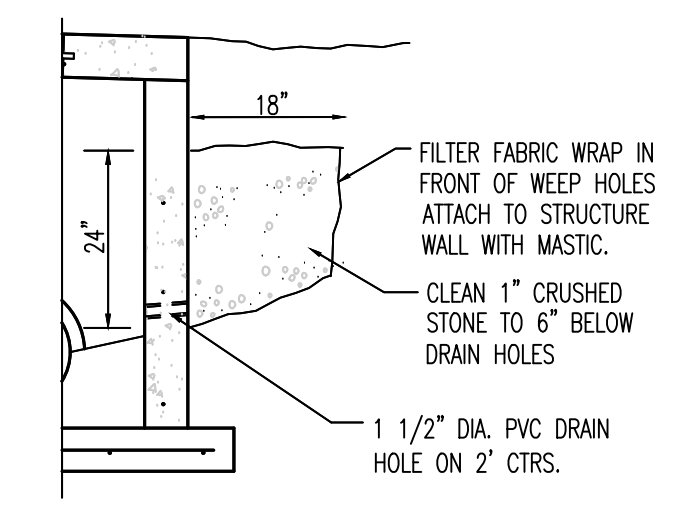


- NOTES:
1. CONCRETE SHALL BE CLASS E FOR BASES AND D FOR WALLS AND TOP.
 2. REINFORCING STEEL SHALL BE GRADE 60
 3. STRUCTURES WHERE H>8' SHALL BE REINFORCED CONCRETE (#4 BARS AT 12" CTRS, BOTH WAYS AND #4 BARS DIAGONAL AT PIPE OPENINGS)
 4. FRAME AND LID SHALL BE NEENAH R-1960-A (TYPE C LID) OR APPROVED EQUAL.

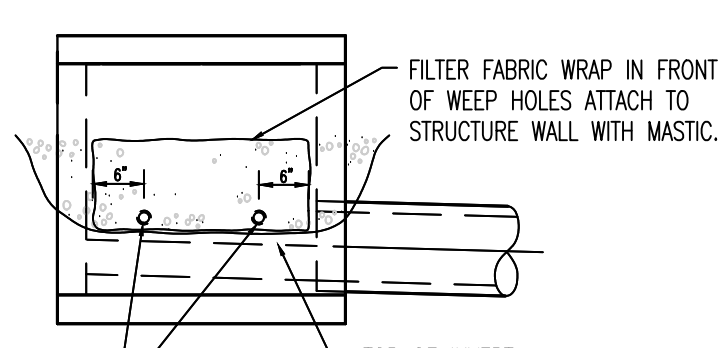
JUNCTION BOX



INLET SILT BARRIERS



PARTIAL SECTION

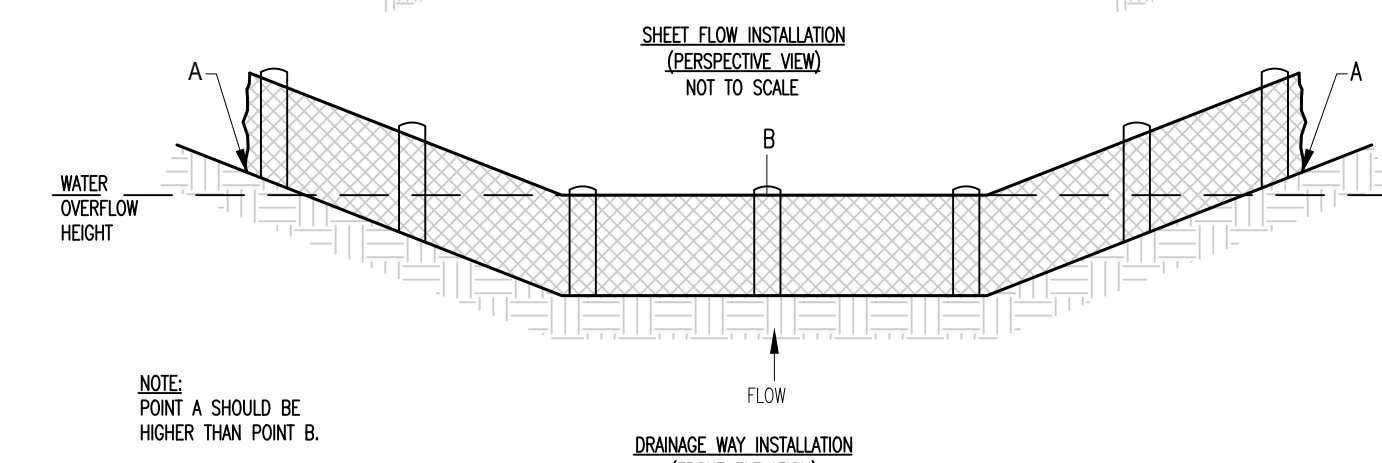
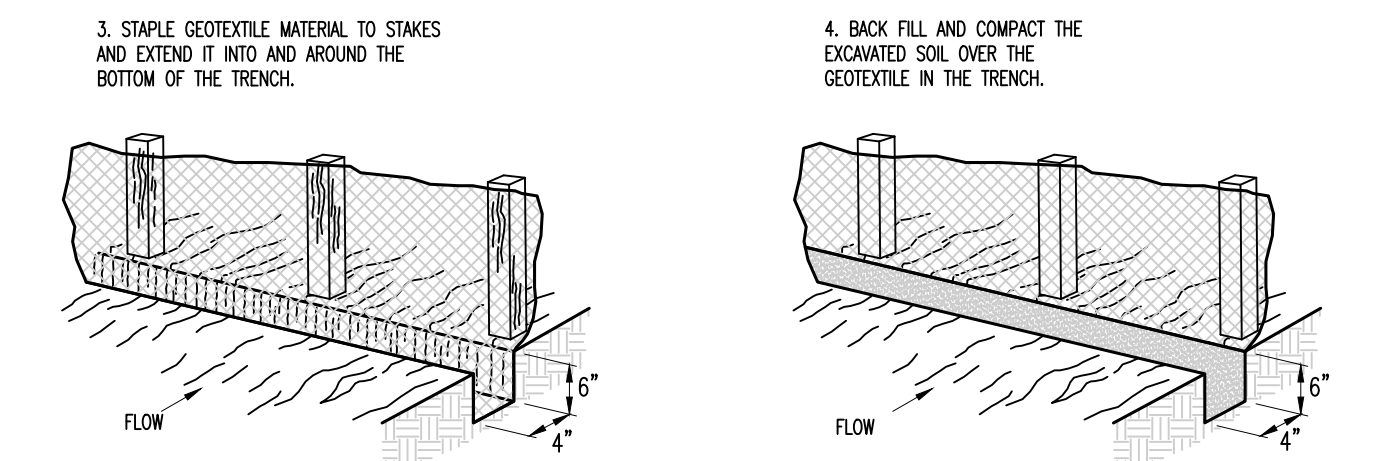
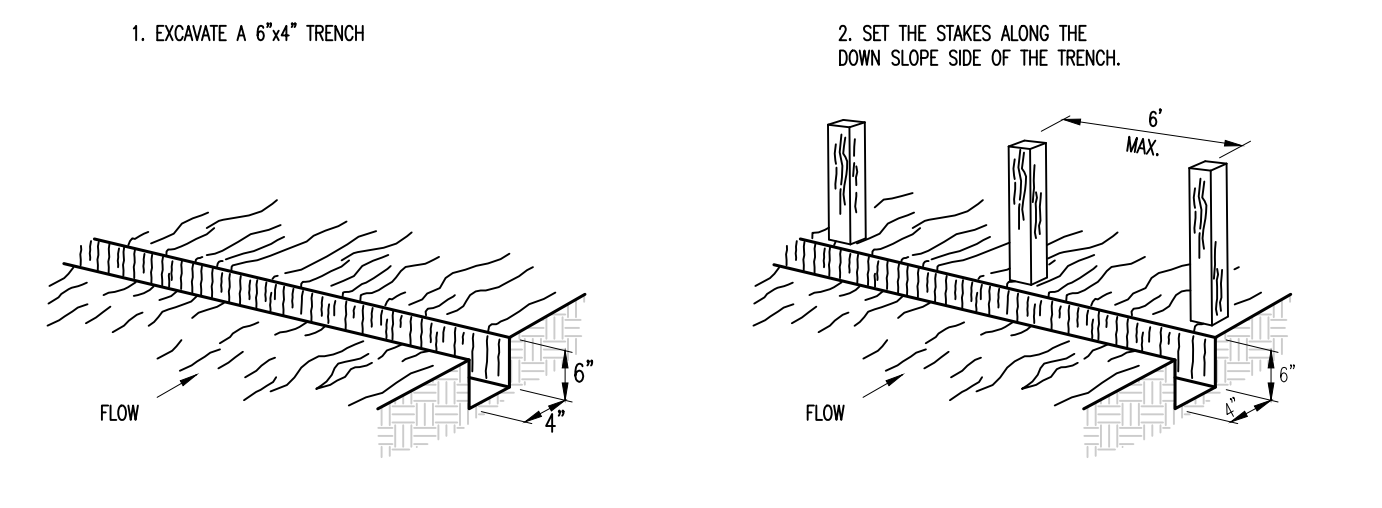


FRONT ELEVATION

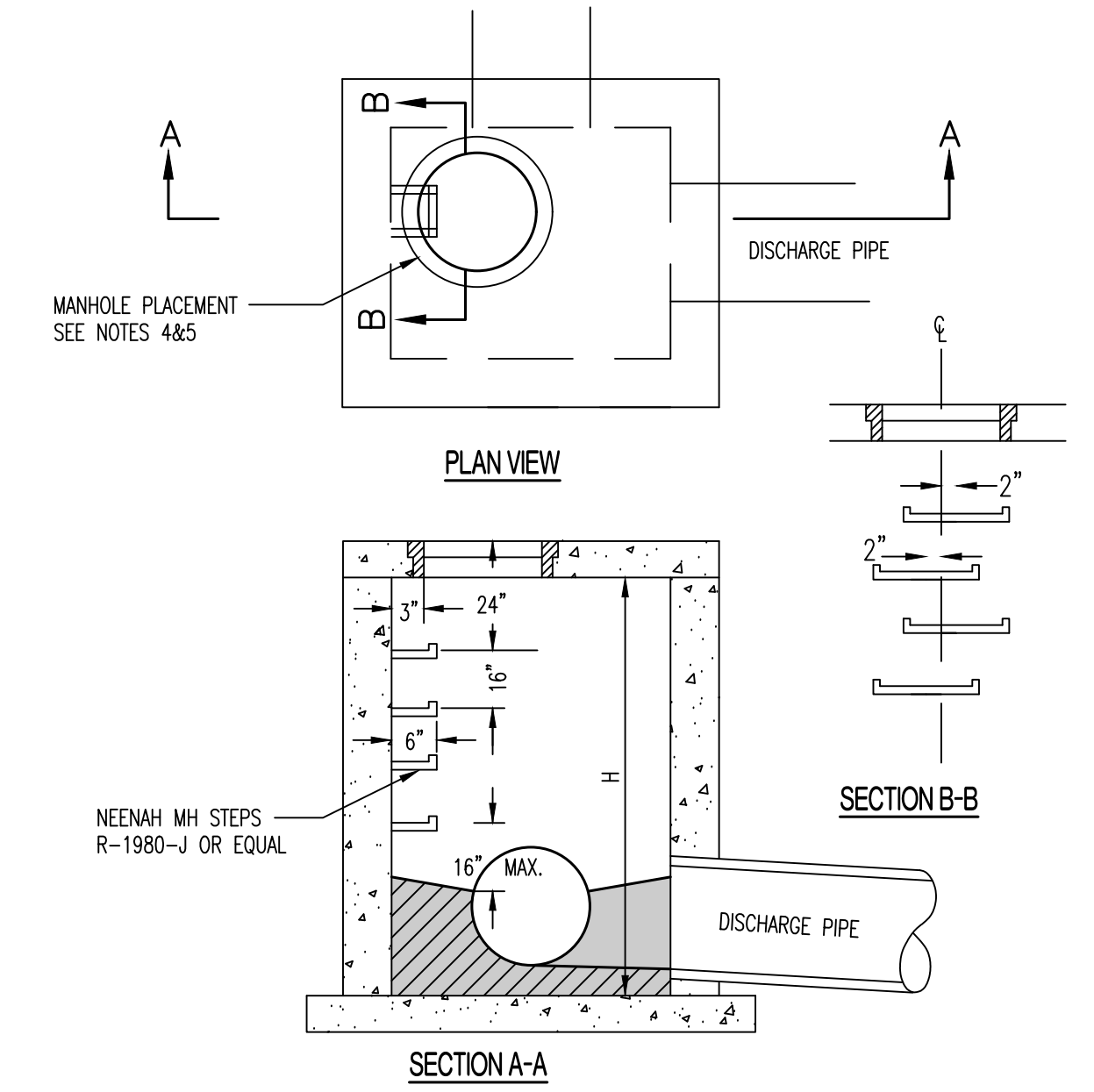
LOCATE DRAIN HOLES ABOVE TOP OF INVERT AND BELOW TOP OF PIPE - 1 1/2\"/>

- NOTE:
1. PLACE WEEP HOLES ON UPSTREAM FACE OF ALL STRUCTURES AND ALSO ON ROADWAY FACE OF CURB INLET STRUCTURES.
 2. WEEP HOLE FILTER FABRIC SHALL CONSIST OF A NON-WOVEN, POLYPROPYLENE TYPE FABRIC SUCH AS: AMOCO 4553 NON-WOVEN GEOTEXTILE FABRIC OR APPROVED EQUAL.

DRAINAGE STRUCTURE WEEP HOLES (500.04)

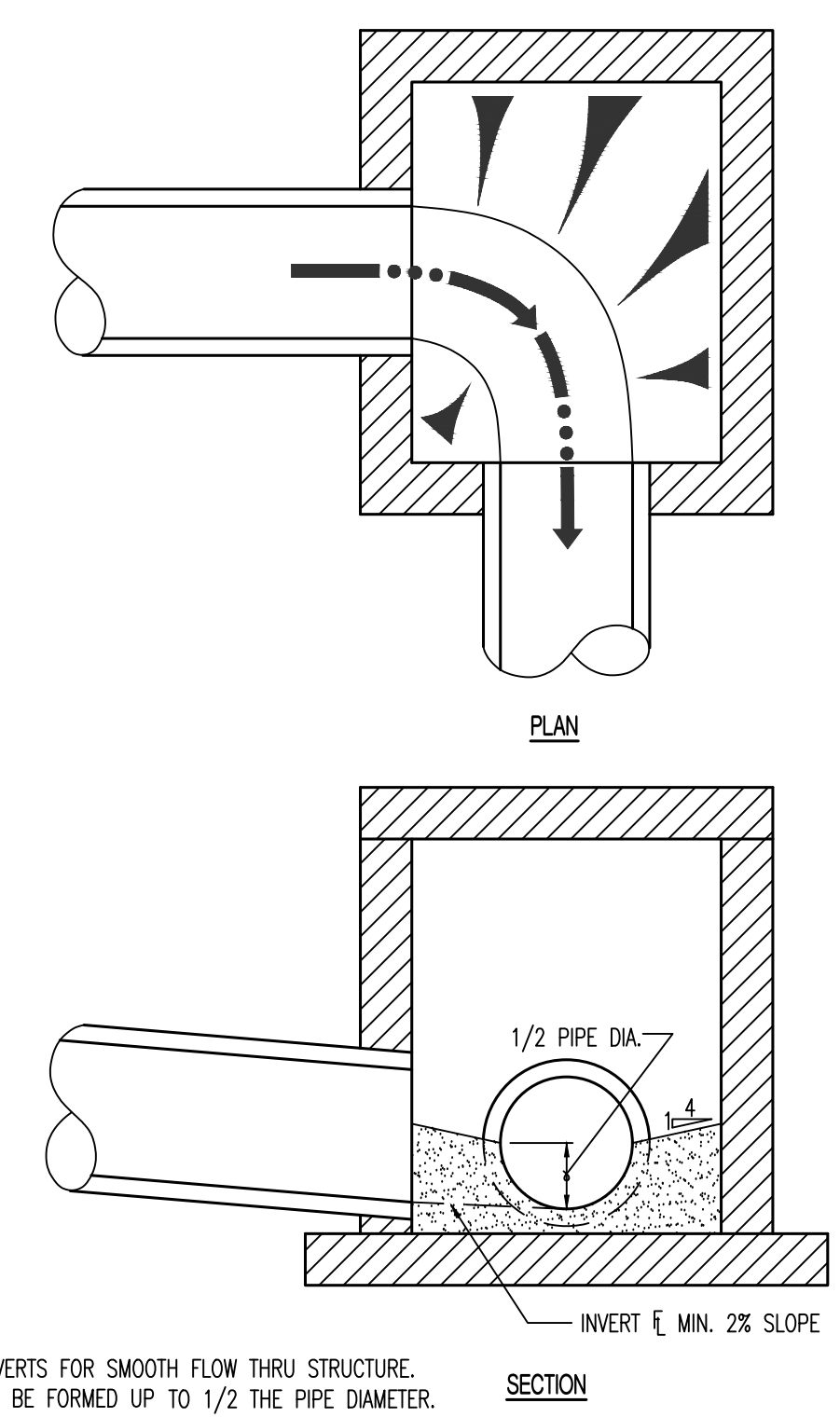


SILT FENCE



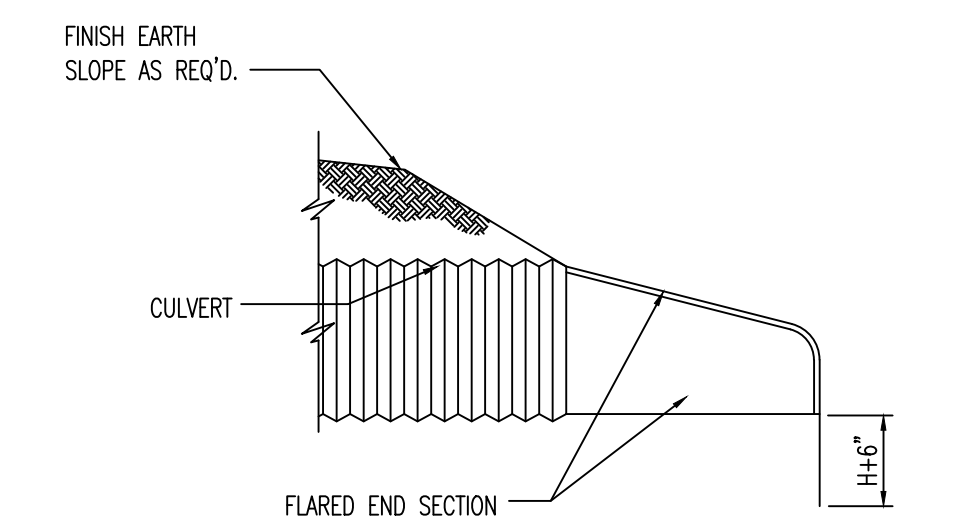
- NOTES:
1. STEPS NOT REQUIRED WHERE H IS LESS THAN 4'.
 2. CAST IRON STEPS SHALL BE AMERICAN ML-10-NCR OR EQUAL.
 3. STEPS SHALL BE PLACED ON VACANT WALL WHEN POSSIBLE.
 4. MANHOLE RING SHALL BE OFFSET TOWARD WALL WITH STEPS.
 5. MANHOLE RING SHALL BE CENTERED ON CENTERLINE OF STEPS.
 6. STAGGER STEPS 2\"/>

DRAINAGE STRUCTURE STEPS

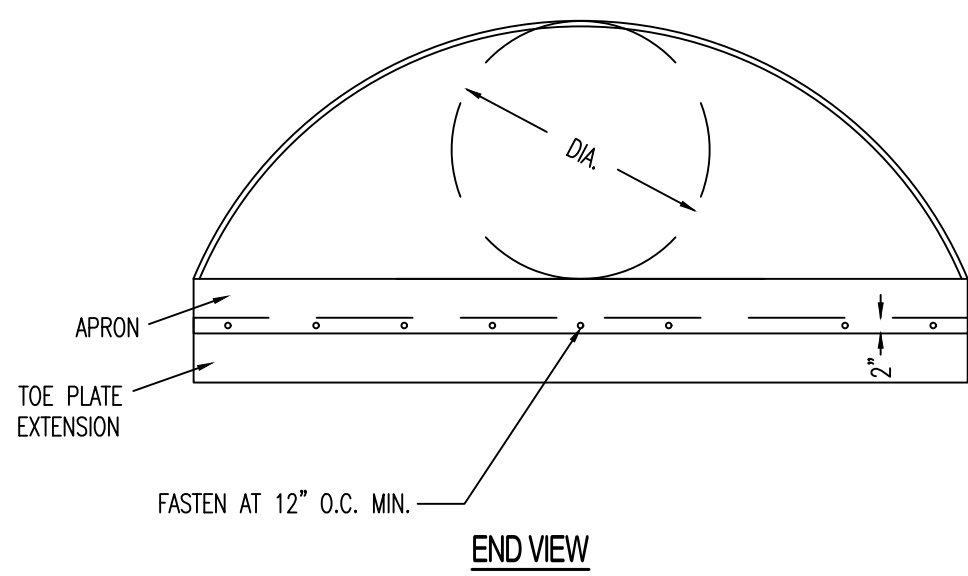


- NOTES:
1. FORM ALL INVERTS FOR SMOOTH FLOW THRU STRUCTURE.
 2. INVERT SHALL BE FORMED UP TO 1/2 THE PIPE DIAMETER.
 3. INVERT SHALL BE CLASS E CONCRETE.

DRAINAGE STRUCTURE INVERT



SECTION VIEW



END VIEW

- NOTE:
1. H=6\"/>

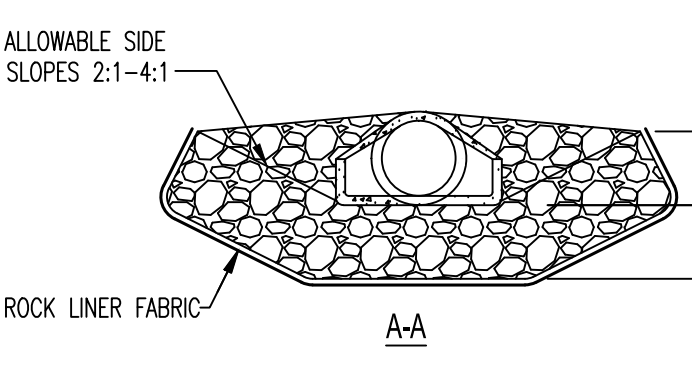
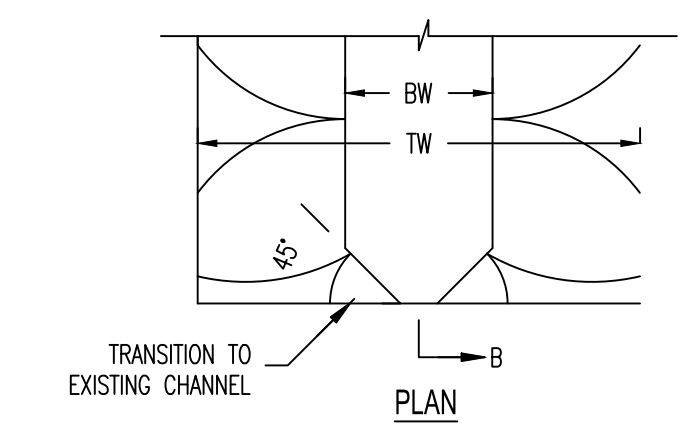
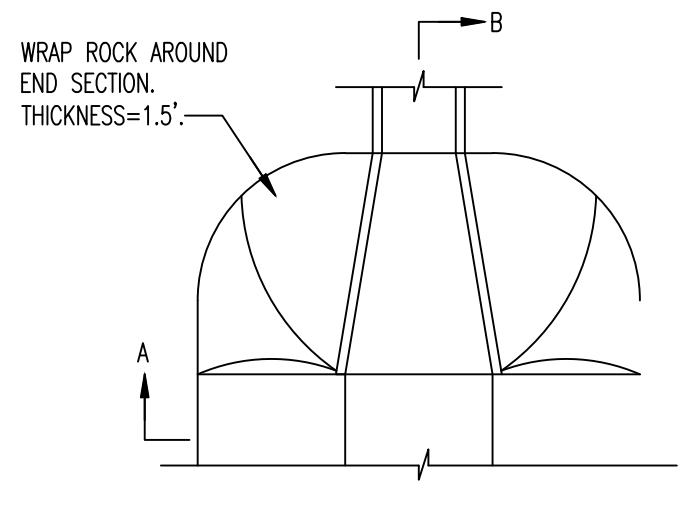
END SECTION FOR HDPE AND CMP

Pipe Size (in)	Maximum Pipe Slope (%)	Length L (ft)	Bottom Width Minimum (ft)	Top Width Minimum (ft)	Thickness T (ft)
12	3.50	12	4	8	2
15	2.60	15	4	9	2
18	2.00	16	4	10	2
24	1.70	20	4	12	2
30	1.40	24	6	16	2
36	1.00	28	6	18	2
42	0.80	32	6	20	3
48	0.65	36	6	22	3
54	0.55	40	8	26	3
60	0.45	44	8	28	3
72	0.40	48	8	32	3

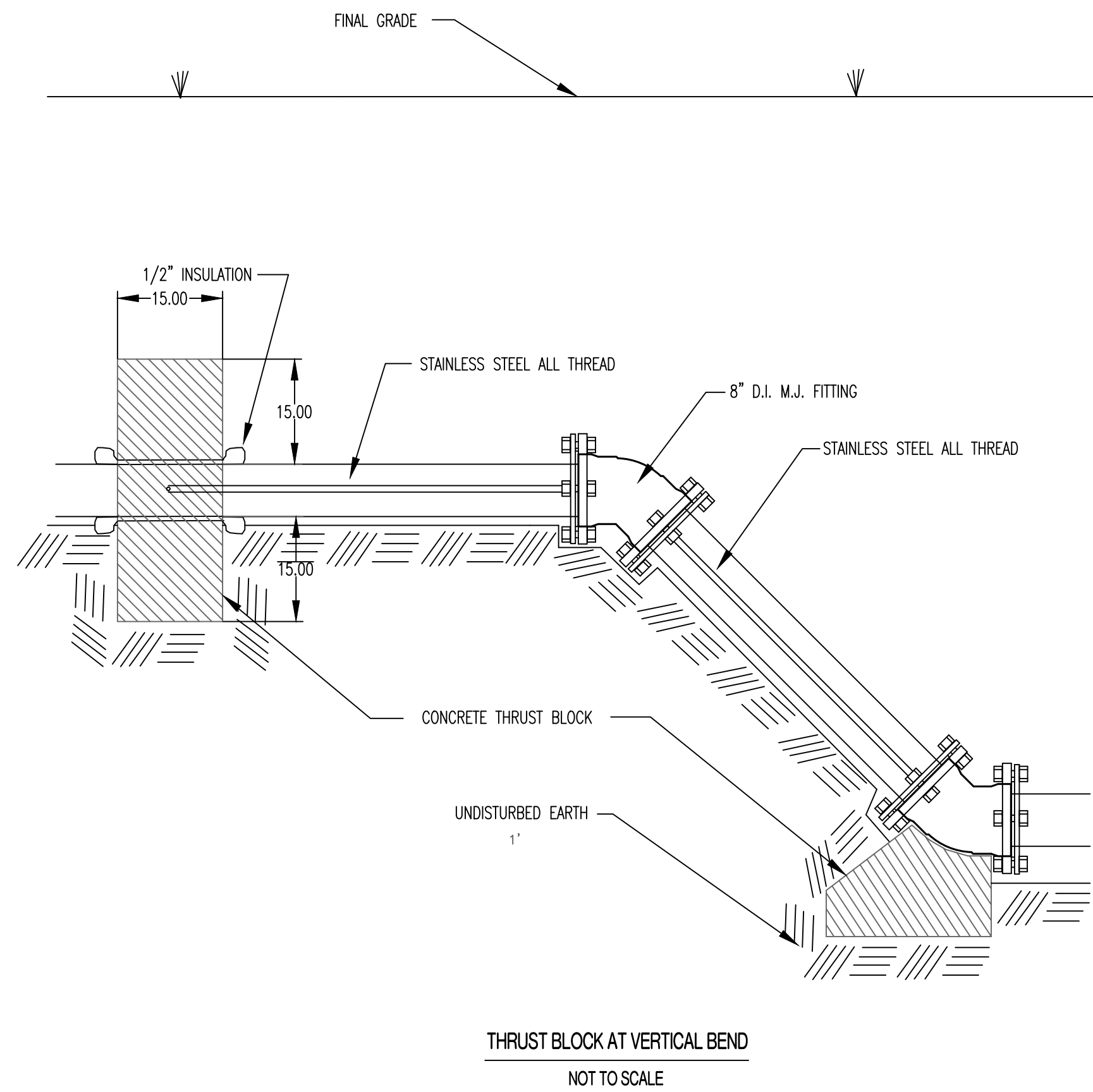
RIP RAP TO BE TYPE 1: ROCK MUST BE ANGULAR, HARD AND DURABLE.

ROCK LINER FABRIC SHALL BE PROPEX GEOTEX 801 OR APPROVED EQUAL. ALTERNATIVELY, AN 8 INCH BED OF WELL GRADED SAND AND GRAVEL WITH GRAVEL UP TO 3\"/>

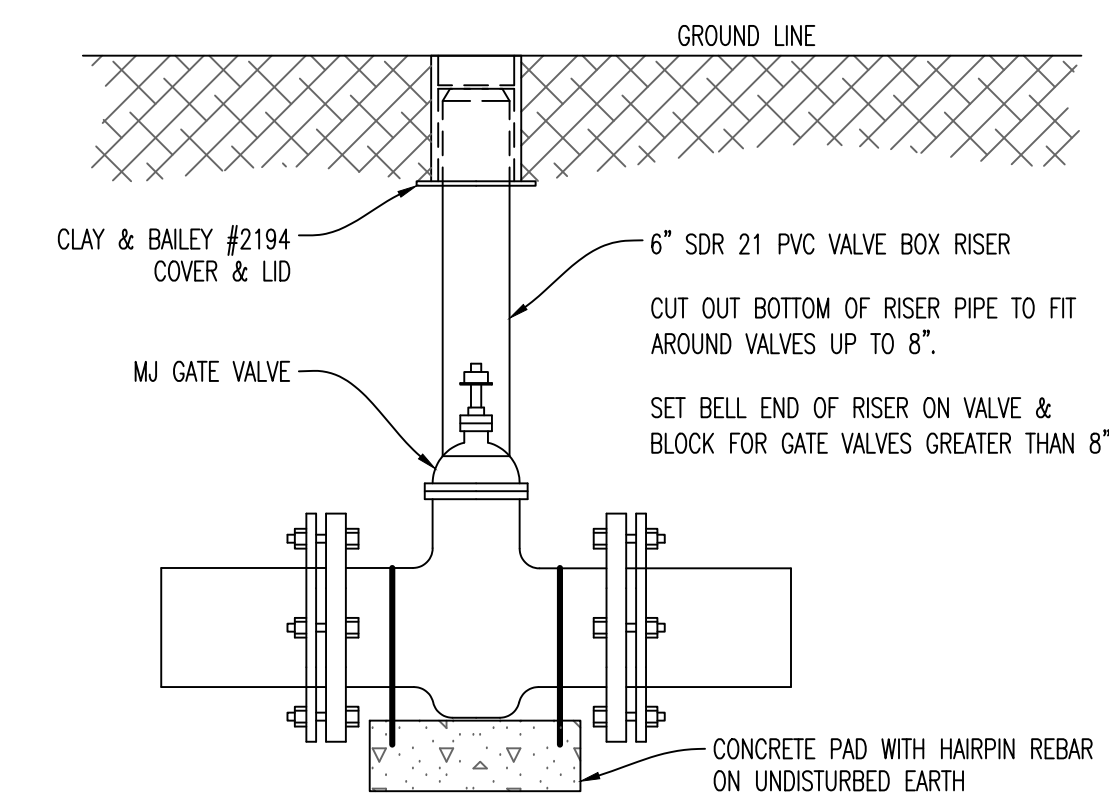
WHERE BEDROCK IS ENCOUNTERED, RIP RAP MAY BE OMITTED.



RIP RAP WITH FILTER FABRIC

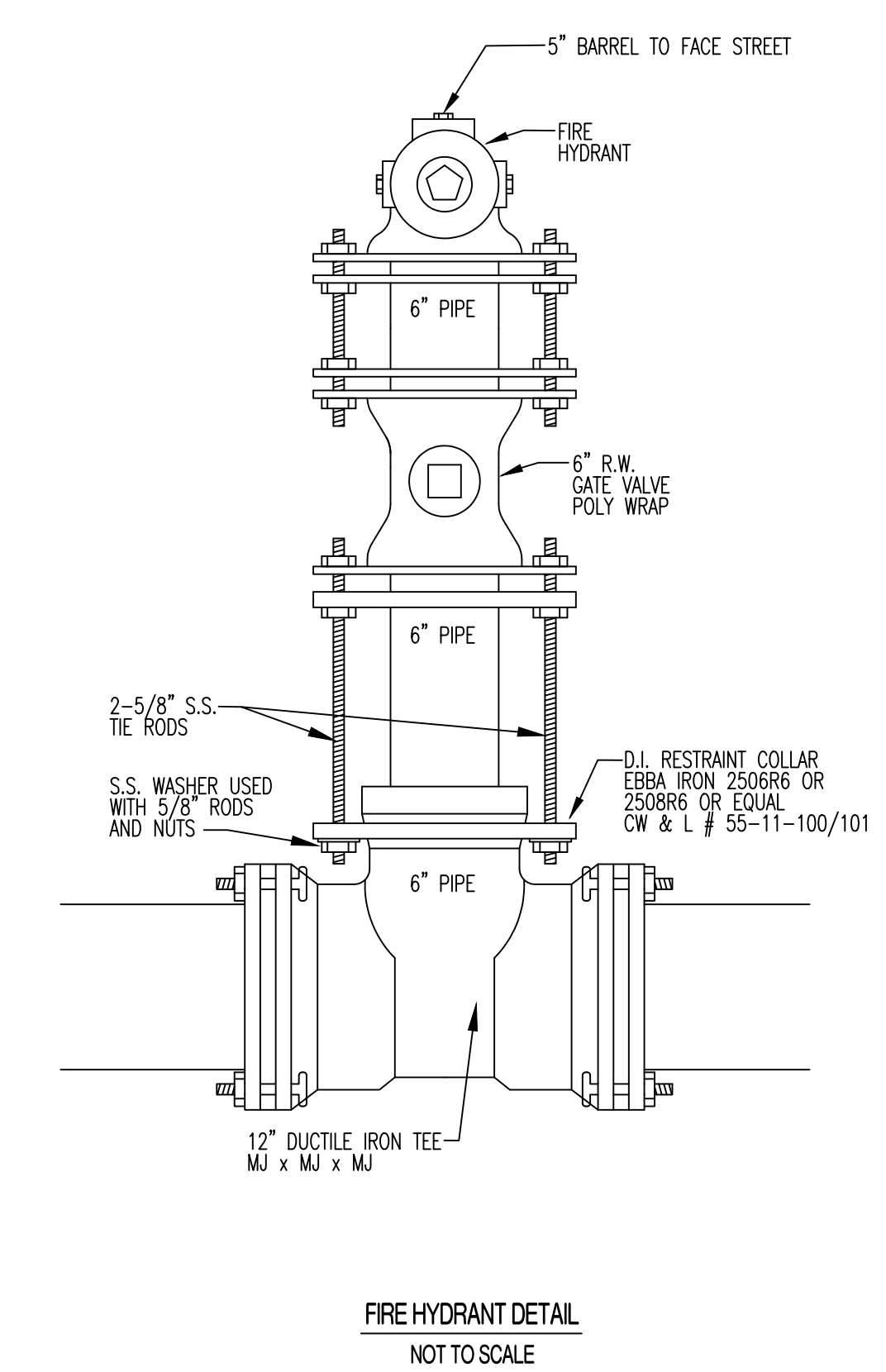


THRUST BLOCK AT VERTICAL BEND
NOT TO SCALE

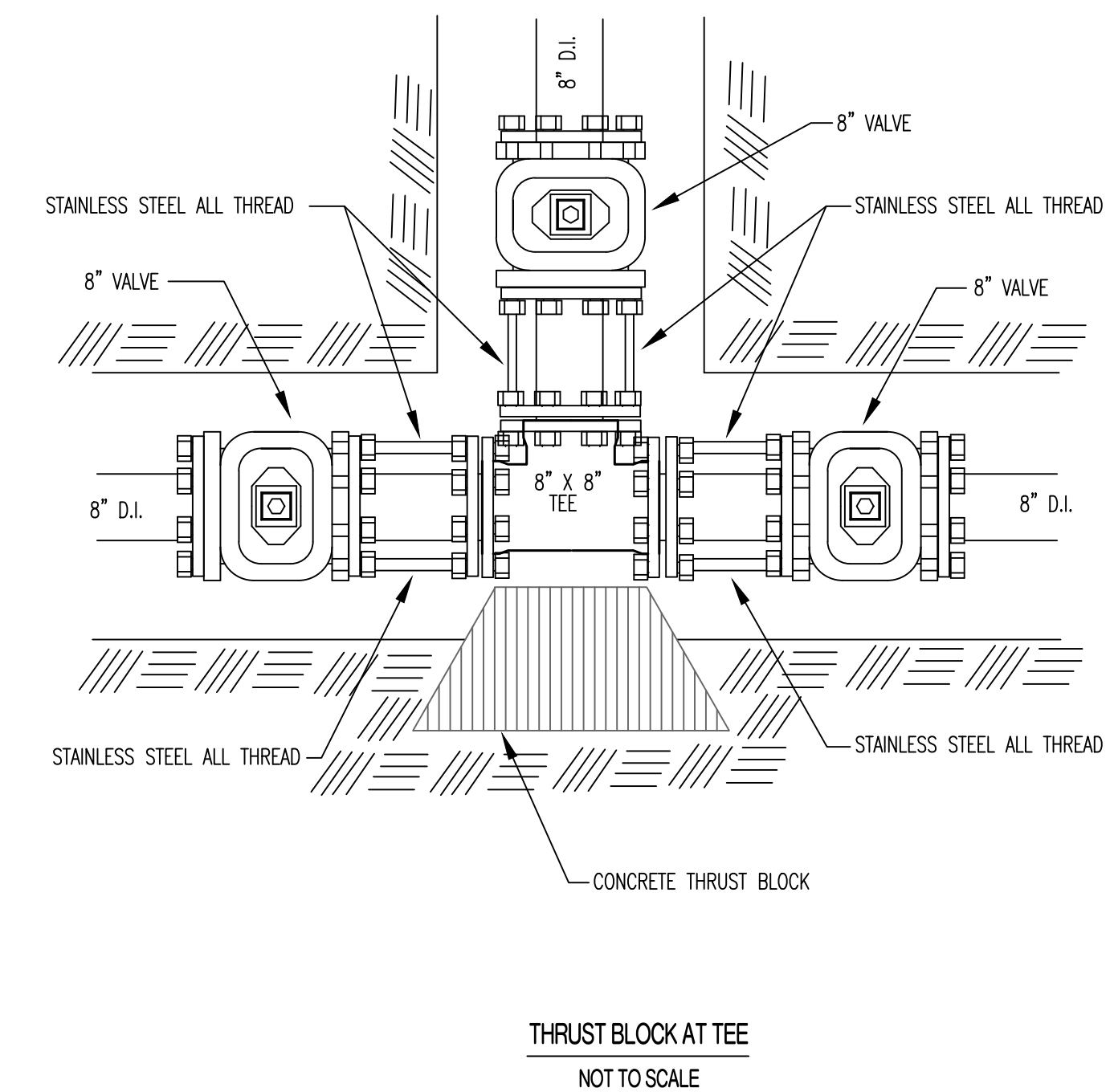


- GENERAL NOTES:
1. ANCHOR COUPLING OR PVC PIPE WITH TIEBACK RODS WILL BE REQUIRED BETWEEN VALVE AND FITTINGS.
 2. WRAP VALVE AND JOINTS WITH VISQUEEN.
 3. VALVE AND RISER SHALL BE PLUMB AND CHECKED BY A LEVEL.

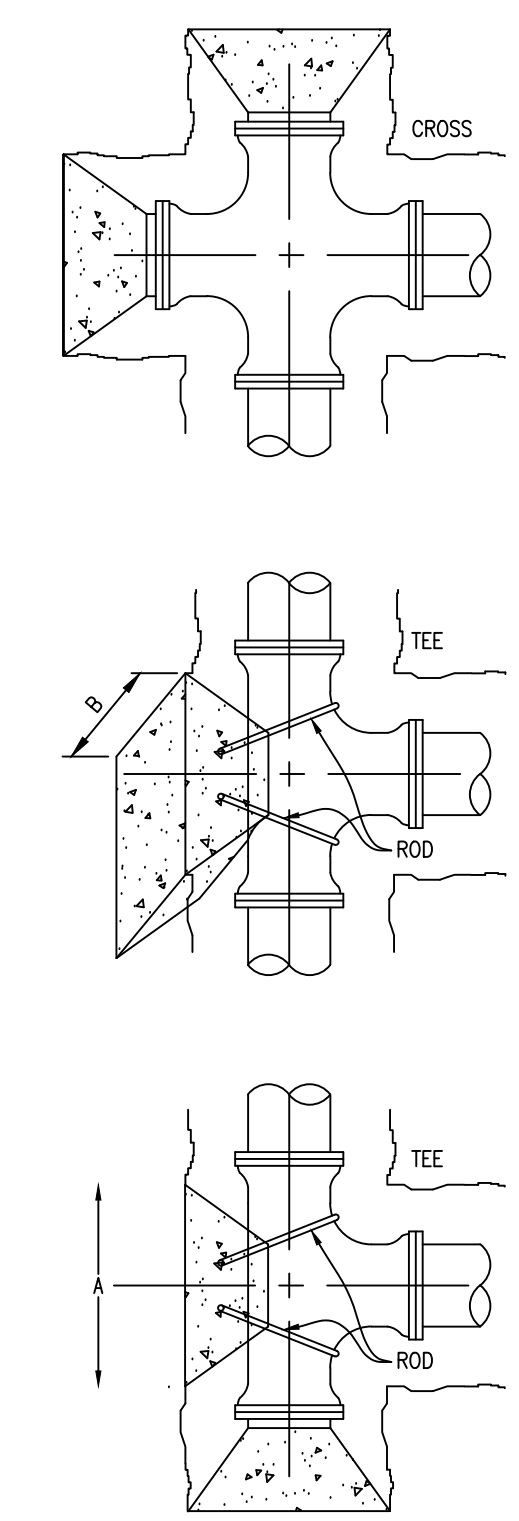
TYPICAL VALVE INSTALLATION
NOT TO SCALE



FIRE HYDRANT DETAIL
NOT TO SCALE



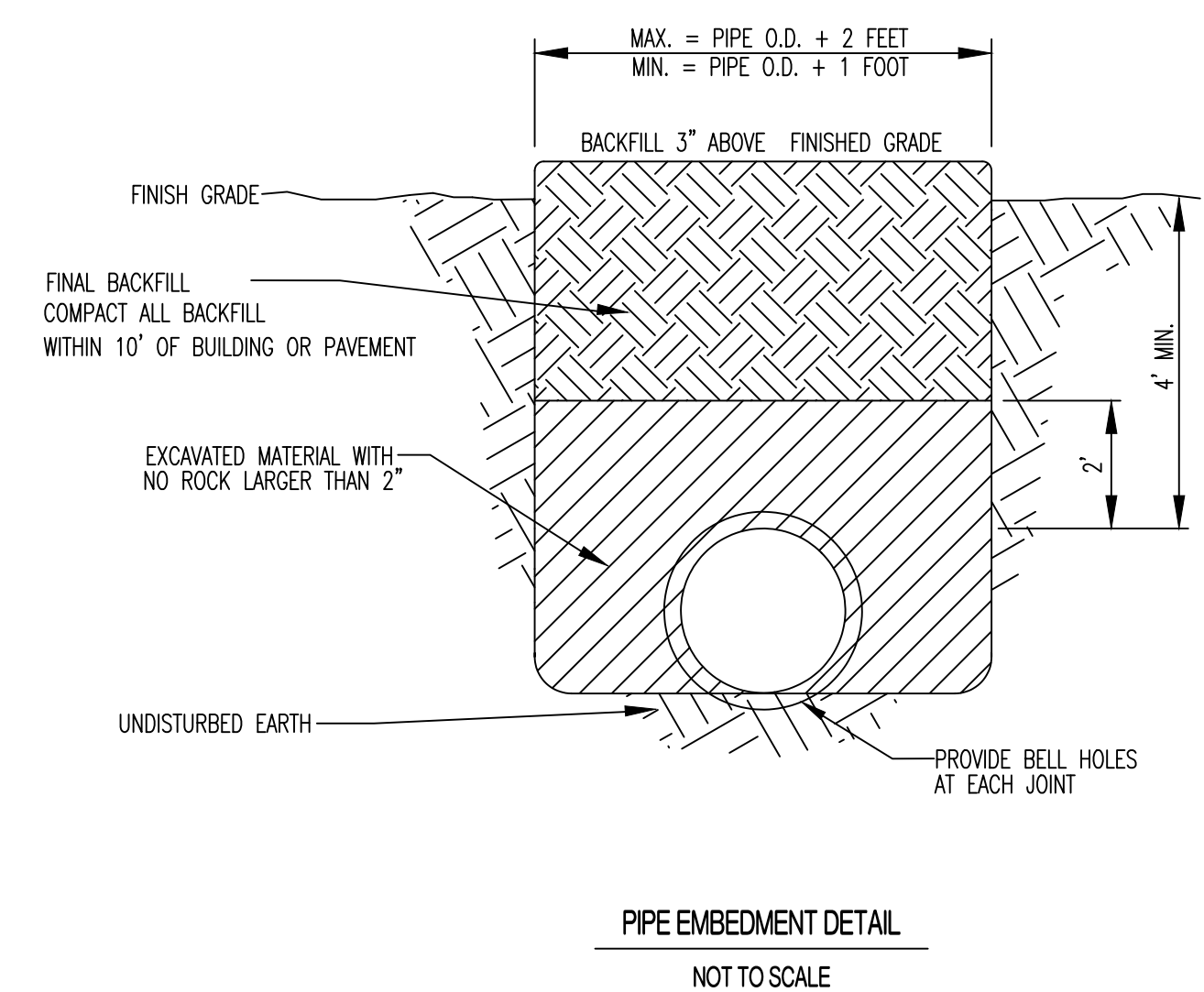
THRUST BLOCK AT TEE
NOT TO SCALE



HORIZONTAL THRUST BLOCK
NOT TO SCALE

BEND	SIZE	SIZE			
		4" & 6"	8"	10"	12" 16"
90°	A	1'-8"	3'-2"	3'-6"	4'-2"
	B	1'-2"	1'-4"	1'-6"	1'-0"
	C	8"	9"	10"	11'-10"
45°	A	8"	7"	8"	8"
	B	1'-2"	1'-4"	1'-6"	1'-8"
	C	7"	8"	8"	9"
22 1/2°	A	8"	1'-4"	1'-5"	1'-10"
	B	1'-2"	1'-4"	1'-6"	1'-8"
	C	8"	9"	10"	11"
11 1/4°	A	1'-3"	2'-3"	2'-8"	3'-2"
	B	1'-2"	1'-4"	1'-6"	1'-10"
	C	8"	9"	10"	11"
90°	A	2'-3"	3'-7"	5'-0"	5'-10"
	B	1'-2"	1'-4"	1'-6"	1'-10"
	C	8"	9"	10"	11'-0"

- NOTES:
1. ALL B&C DIMENSIONS TO BE AS REQUIRED TO REACH UNDISTURBED EARTH BUT NOT LESS THAN LISTED ON THRUST BLOCK TABLE.
 2. CAST-IN-PLACE CONCRETE SHALL BE IN ACCORDANCE WITH THE "CITY OF CLAY CENTER" STANDARDS
 3. DIMENSIONS A, B, C, APPLY TO ALL BEND CONDITIONS SHOWN.
 4. INSTALL PLUGS AT ALL RUNS OR BRANCHES DISCONTINUED FOR FUTURE SERVICES.
 5. ALL BENDS, TEES, PLUGS, FITTINGS OR OTHER SIGNIFICANT CHANGES SHALL BE BRACED WITH POURED CONCRETE THRUST BLOCK AS SHOWN ON THIS DETAIL.
 6. ALL PLUGS SHALL BE SEPARATED FROM THE CONCRETE THRUST BLOCK BY A 5 MIL LAYER OF PLASTIC SHEETING.



PIPE EMBEDMENT DETAIL
NOT TO SCALE

REVISIONS:

NO.	DATE
ORIGINAL	06/27/2023

THIS SHEET HAS BEEN SIGNED, SEALED AND DATED ELECTRONICALLY

PRELIMINARY
(NOT FOR CONSTRUCTION)

TIMOTHY D. CROCKETT
MO LICENSE: 200400075

PREPARED BY:
CROCKETT
ENGINEERS & ARCHITECTS
1008 W. HUNTSVILLE BLVD.
COLUMBIA, MISSOURI 65203
(314) 487-0299
www.crockettengineering.com
Crockett Engineering Consultants, LLC
Missouri Certificate of Authority
#000000001

OWNER:
ROSE F. MOBERLY, LLC
1246 HUNTSVILLE RD
MOBERLY, MO 65270

KO STORAGE EXPANSION

MOBERLY, RANDOLPH COUNTY, MISSOURI

DRAWING INCLUDES:
WATER LINE DETAILS

DESIGNED: TDC
DRAWN: JEE
PROJECT NO: 230063
SHEET: CE 10

CITY OF MOBERLY, MISSOURI
SITE PLAN REVIEW

Return Form To:
Zoning Administrator
City of Moberly
101 West Reed Street
Moberly, MO 65270-1551
(660) 263-4420
(660) 263-9398 (fax)

For Office Use Only
Filing Fee: _____
Deposit: _____
Dated Filed: _____

APPLICANT INFORMATION:

Applicant: Westhues Architecture LLC Phone: 573-424-7064
Address: 9600 Boatman Hill Rd Columbia Mo Zip: 65202
Owner: Amaze Cannabis GRP Real Estate Phone: 660-998-4724
Address: 1420 Beffo Dr Moberly Mo Zip: 65270

PROPERTY INFORMATION:

Address of Property: 1420 Beffo Dr Moberly Mo 65270
Legal Description: Riley's Industrial Park 3rd addition

Present Zoning Classification: _____ Acreage: 6

Present Use of Property: Cannabis Cultivation

Proposed Use of Property: same as above


ADJACENT ZONING AND LAND USE:

	<u>Land Use</u>	<u>Zoning</u>
North	<u>Industrial</u>	_____
South	<u>"</u>	_____
East	<u>"</u>	_____
West	<u>"</u>	_____

Does the proposed site plan meet the following criteria? If yes, attach a separate sheet explaining why (To be completed by the applicant).		Yes	No
1.	Does the proposal conform with the provisions of the City's Zoning regulations?	✓	
2.	Will the development be compatible with the surrounding area?	✓	
3.	Does the proposal conform with the provisions of the City's Subdivision Regulations?	✓	
4.	Does the proposal conform to the goals, objectives and policies of the Comprehensive Plan?	✓	
5.	Does the proposal conform with the customary engineering standards used in the City?	✓	
6.	Are the streets, paths, walkways, and driveways located such that they enhance safety and minimize any adverse traffic impact on the surrounding area?	✓	
7.	Have the proposed buildings, structures, walkways, roads, driveways, open space (if any), and parking lots been located to preserve existing off-site views and create desirable on-site views, conserve natural resources and amenities including prime agricultural land, minimize any adverse flood impact, ensure that proposed structures are located on suitable soils, minimize any adverse environmental impact, and minimize any present or future cost to the City and private providers of utilities in order to adequately provide public utility services to the site.	✓	

ATTACHMENTS REQUIRED:

- A. Site Plan Review Checklist
- B. 10 copies of site plan



 Applicant's Signature

7/28/23

 Date

CITY OF MOBERLY, MISSOURI
SITE PLAN CHECKLIST

Return Form To:
Zoning Administrator
City of Moberly
101 West Reed Street
Moberly, MO 65270-1551
(660) 263-4420
(660) 263-9398 (fax)

For Office Use Only:
Date Filed: _____
Date of Meeting: _____
Filing Fee: _____
Deposit: _____

-
1. Name of Project: GRE Expansion
 2. Location of Project: 1420 Ber Flo Dr Moberly Mo
 3. Name of Owner: GRE Real Estate LLC (Jay pate)
 4. Name of Person who Prepared the Site Plan: Eric Westman, Architect
 5. Instructions:

The following checklist is to be completed by the Zoning Administrator. The Site Plan shall include the following data, details and supporting information, which are found to be relevant to the proposal. All site plans shall be prepared by an architect or landscape architect registered in the State of Missouri, or by a professional engineer licensed in the State of Missouri. The number of pages submitted will depend on the proposal's size and complexity.

A. Site Plan Content Requirements: Does the Site Plan comply with or show the following?		<u>Yes</u>	<u>No</u>
1.	Name and address of the owner of record, developer, and seal of the engineer, architect or landscape architect.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2.	Name and address of all owners of record of abutting parcels.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3.	All existing lot lines, easements, and rights-of-way. Include area in acres or square feet, abutting land uses and structures.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4.	The location and use of all existing and proposed buildings and structures within the development, including all dimensions of height and floor area, show all exterior entrances and all anticipated future additions and alterations, and typical elevations and building materials.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

	<u>Yes</u>	<u>No</u>
5. The location of all present and proposed public and private ways, driveways, sidewalks, ramps, curbs and fences. Location type and screening details for all waste disposal containers shall also be shown.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. The location of required parking areas including parking stalls, setbacks and loading and service areas.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. The location, height, intensity, and bulb type (e.g., fluorescent, sodium incandescent) of all external lighting fixtures. The direction of illumination and methods to eliminate glare onto adjoining properties.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
8. The location, height, size, materials, and design of all proposed signage.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. A landscape plan showing all existing open space, trees forest cover and water sources, and all proposed changes to these features including the size and type of plant material. Water sources will include ponds, lakes, brooks, streams, wetlands, flood plains, and drainage retention areas.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
10. The location of all existing and proposed utility systems including:		
a. Sewer lines and manholes;	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Water lines and fire hydrants;	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Telephone, cable and electrical systems; and	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. Storm drainage system including existing and proposed drain lines, culverts, catch basins, head walls, end walls, hydrants, manholes, and drainage swells.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Plans to prevent the pollution of surface or groundwater, the erosion of soil both during and after construction, excessive run-off, excessive raising or lowering of the water table, and flooding of other properties, as applicable.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
12. Existing and proposed topography shown at not more than two-foot contour intervals. All elevation shall refer to United States Geodetic Survey (U.S.G.S.) datum. No building shall be located in the 100-year flood plain.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

	<u>Yes</u>	<u>No</u>
13. Existing and proposed zoning district boundaries adjacent to the site's perimeter shall be drawn and identified on the plan.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
14. Traffic flow patterns within the site, entrances and exits, loading and unloading areas, curb cuts on the site and within 100 feet of the site.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
15. A detailed traffic study for mixed use and multi-tenant developments, or for developments in heavy traffic areas, if required by the Zoning Administrator, to include:		
a. The projected number of motor vehicle trips to enter or exit the site, estimated for daily and peak hour traffic level.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. The projected traffic flow pattern including vehicular movements at all major intersections likely to be affected by the proposed use of the site; and	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. The impact of this traffic upon existing abutting public and private ways in relation to existing road capacities. Existing and proposed daily and peak hour traffic levels, as well as road capacity levels, shall also be given.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
B. Design Standards:		
1. Does the building rooftop have at least two of the following features: Parapets concealing flat roofs and roof top equipment; overhanging eaves; sloped roofs; and three or more roof slope planes?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Are roof mounted equipment, including ventilators and satellite dishes, screened from view (100 percent opacity) or isolated so as to not be visible from ground level of any adjacent public thorough-fare or residentially-zoned area, up to a maximum of 300 feet away and is the appearance of the roof screens coordinated with the building to maintain a unified appearance?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Are all electrical and mechanical equipment located adjacent to the building and visible from any adjacent public thoroughfare or residentially-zoned area screened from view (100 percent opacity), up to a maximum of 300 feet away and are such screens and enclosures treated as integral elements of the buildings appearance?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

	<u>Yes</u>	<u>No</u>
4. Except for meters, electric and telephone service pedestals, transformers, three-phase feeder lines, subtransmission and transmission lines (34.5kv and above), electrical substations and such other facilities as the utility may deem necessary to install utilizing "overhead" type construction, are all telephone and cable television lines, electrical services and distribution lines placed underground?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Are all gas meters in any front yards, located within three feet of the building foundation?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Is the form and proportion of buildings consistent or compatible with the scale, form and proportion of existing development in the immediate area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Pedestrian access shall be an integral part of the overall design of each multifamily, commercial, and industrial development.		
a. Does the pedestrian access provide safe and convenient access to and from off-street parking areas?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Does the pedestrian access connect with abutting properties and developments so as to create an alternative means of transportation for residents of the city?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Are sidewalks at least 5 feet in width provided along all sides of a lot abutting a dedicated public or private street?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Is there a continuous internal pedestrian sidewalk provided from the perimeter public sidewalk to the principal customer entrance(s)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e. Does the internal sidewalk feature landscaping, benches, and other such materials and facilities for no less than 50 percent of its length?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f. Are sidewalks provided along the full length of the building along any facade featuring a customer entrance and along any facade abutting a public parking areas?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

- | | <u>Yes</u> | <u>No</u> |
|--|------------|-----------|
| g. Are sidewalks located at least five feet away from the building facade to provide planting areas for landscaping along the foundation of the building? | _____ | _____✓ |
| h. Are internal pedestrian sidewalks distinguished from driving surfaces through the use of special pavers, bricks, or scored concrete to enhance pedestrian safety and the attractiveness of the sidewalks? | _____ | _____✓ |
| 8. Architectural design should create visual interest through the use of different textures, complementary colors, shadow lines and contrasting shapes. | | |
| a. Will the buildings have a variation of detail, form, and siting to provide visual interest? | _____ | _____✓ |
| b. Are loading docks, trash enclosures, outdoor storage and similar facilities and functions incorporated into the over-all design of the building and the landscaping so that the visual and acoustic impacts of these functions are reduced to as great an extent as possible and are out of view from adjacent properties and public streets? | _____✓ | _____ |
| c. Do building facades 100 feet or greater in length incorporate recesses and projections along at least 20 percent of the length of the building facade? | _____ | _____✓ |
| d. Do windows, awnings, and arcades total at least 60 percent of the facade length abutting any public street? | _____ | _____✓ |
| e. Does any building facade 100 feet or greater in length abutting a residential district, have an earth berm of at least six feet in height installed between the building facade and the abutting residential district and is the earth berm landscaped with evergreen trees at intervals of at least 20 feet on center, or in clusters? | _____ | _____✓ |
| 9. Minimum Exterior Building Material Standards: Does a minimum of 50% of each exterior wall consist of one or more of the following materials?: | | |
| a. Masonry: Masonry construction, which includes solid cavity faced or veneered-wall construction, or similar materials. | _____ | _____✓ |
| b. Glass Walls: Glass walls shall include glass curtain walls or glass block construction. | _____ | _____✓ |

- | | <u>Yes</u> | <u>No</u> |
|---|-------------------------------------|-------------------------------------|
| c. Wood other than exposed plywood paneling. | _____ | <input checked="" type="checkbox"/> |
| d. Concrete finish or pre-cast concrete panel (tilt wall) that has exposed aggregate, hammered, sandblasted or covered with a cement-based acrylic coating. | _____ | <input checked="" type="checkbox"/> |
| e. Metal panels with a depth of one inch or more; or a thickness of U.S. Standard 26 gauge or more. | <input checked="" type="checkbox"/> | _____ |

City of *Moberly!*

Memorandum

To: *Planning and Zoning Commission*

From: *Planning Staff*

Subject: *Site Plan Review Application 1420 Becflo Dr*

Meeting: *August 28, 2023*

Public Hearing to consider:

Notice of Public Hearing for a site plan review application submitted by Westhues Architecture LLC on behalf of GRC Real Estate for improvements to the site located at 1420 Becflo Dr. This property is currently zoned M-1 (Industrial District).

Comments:

Location: 1130 S Morley St

Zoning Compatibility: Use is compatible with the district.

Intended Use: Marijuana Cultivation Facility, currently in operation and intended to add additional structure to the property to expand business operations. State licenses are already obtained.

Landscaping design: Dumpster Screening is provided. Adjacent to commercial, no other buffering required. No other changes to existing landscaping for existing site.

Public areas: (46-177) Parking – Adequate parking is provided currently with additional planned parking stalls to be included as well as fire department access road surrounding the facility.

Submission requirements: Site Plan Review associated with Improvements all submitted in timely fashion. Conditional Use for the property has already been approved with previous remodel by City Council.

City Staff Review:

TABLED until further Civil Work is completed.

Site Plan Reviews do not require additional approval by the City Council.

Respectfully Submitted Aaron Decker